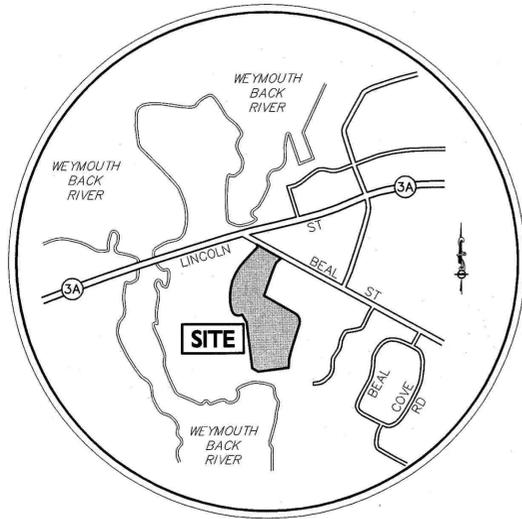


# COMPREHENSIVE PERMIT APPLICATION PLANS

## BROADSTONE BARE COVE

### 230 BEAL STREET HINGHAM, MA



**LOCUS MAP**  
NOT TO SCALE

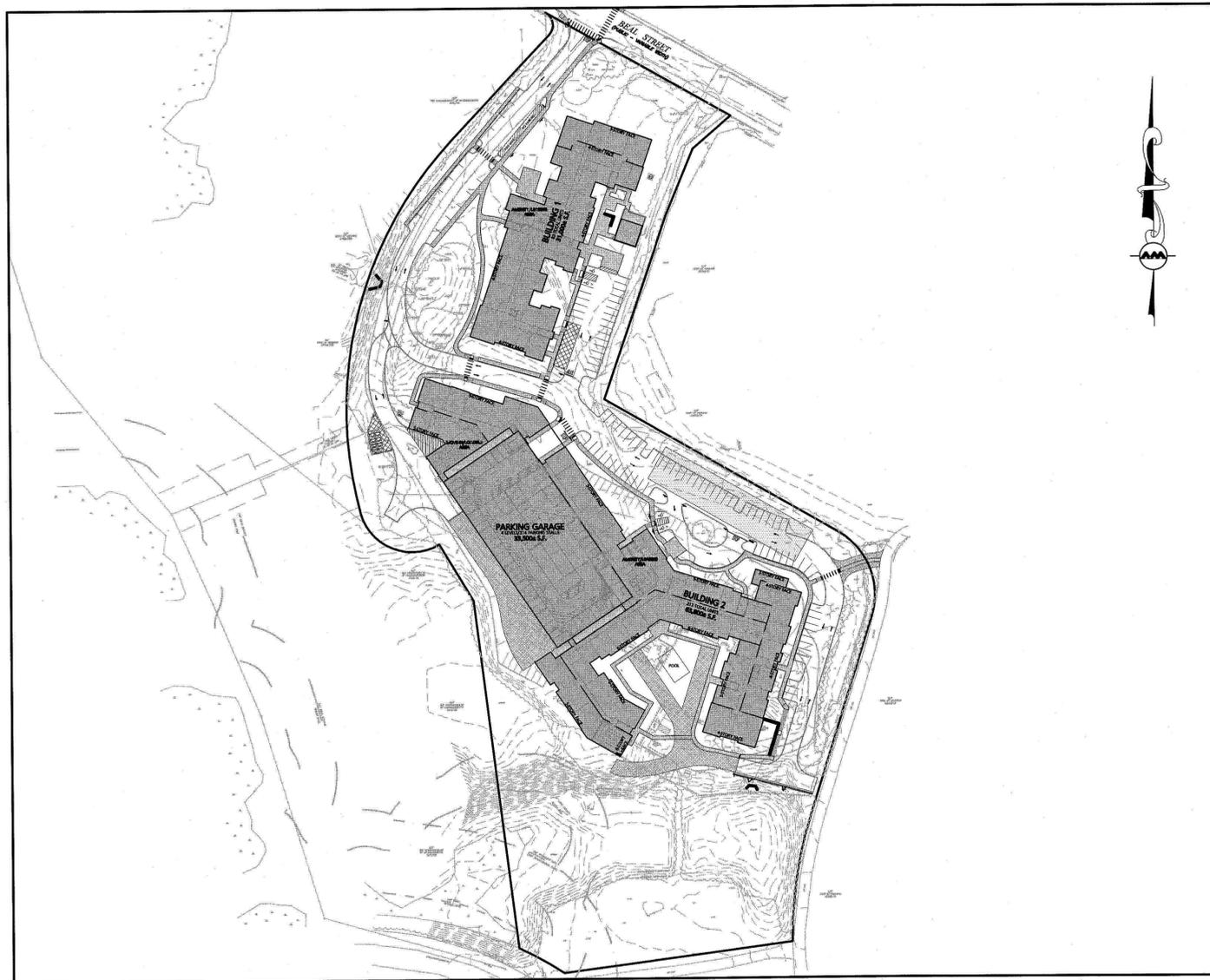
**OWNER/APPLICANT:**  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O  
ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

**SITE ENGINEER:**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01888-0118

**LAND SURVEYOR:**  
PRECISION LAND SURVEYING, INC.  
32 TURNPIKE STREET  
SOUTHBOROUGH, MA 01772

**ARCHITECT:**  
CUBE 3 STUDIO  
360 MERRIMACK STREET  
BUILDING 5, FLOOR 3  
LAWRENCE, MA 01843

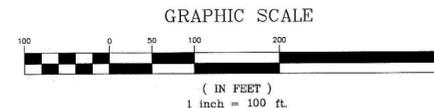
**LANDSCAPE ARCHITECT:**  
SHADLEY ASSOCIATES, P.C.  
1730 MASSACHUSETTS AVENUE  
LEXINGTON, MA 02420-5301



PREPARED BY:



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#### LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
ABBREVIATIONS & NOTES	ABB-1 - ABB-3	08-12-2016	-
EXISTING CONDITIONS PLAN	I - 4	01-18-2016	-
DEMOLITION PLAN	C-1A - C-1B	08-12-2016	-
LAYOUT & MATERIALS PLAN	C-2A - C-2B	08-12-2016	-
GRADING & DRAINAGE PLAN	C-3A - C-3B	08-12-2016	-
UTILITY PLAN	C-4A - C-4B	08-12-2016	-
ELECTRICAL PLAN	C-5A - C-5B	08-12-2016	-
EROSION CONTROL PLAN	C-6A - C-6B	08-12-2016	-
FIRE TRUCK TURNING PLAN	C-7	08-12-2016	-
DETAILS	D-1 - D-9	08-12-2016	-
LANDSCAPE PLAN	L-100	08-12-2016	-
REPRESENTATIVE PLANTING SCHEDULE & PLANTING DETAILS	L-200	08-12-2016	-
COURTYARD DETAILS	L-201	08-12-2016	-
UNIT MIX & BUILDING SUMMARY	A-002	08-12-2016	-
AFFORDABLE UNIT MIX & DIAGRAMS	A-003.1	08-12-2016	-
AFFORDABLE UNIT MIX & DIAGRAMS	A-003.2	08-12-2016	-
GROUND FLOOR PLAN	A-100	08-12-2016	-
FIRST FLOOR PLAN	A-101	08-12-2016	-
SECOND FLOOR PLAN (TYP. FLOOR 2 & 3)	A-102	08-12-2016	-
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FIFTH FLOOR PLAN	A-105	08-12-2016	-
BUILDING 1 EXTERIOR ELEVATIONS	A1-201 - A1-204	08-12-2016	-
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CONCEPTUAL BUILDING SECTIONS	A-300 - A-301	08-12-2016	-
CONCEPTUAL BUILDING PERSPECTIVES	A-501	08-12-2016	-



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR COMPREHENSIVE PERMIT: AUGUST 12, 2016

**GENERAL NOTES:**

- FOR EXISTING CONDITIONS SURVEY, SEE PLAN ENTITLED "EXISTING CONDITIONS PLAN", AS PREPARED BY PRECISION LAND SURVEYING, INC. ON THE GROUND SURVEY WAS PERFORMED ON JANUARY 6, 2016.
- THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AND WERE DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION ON DECEMBER 30, 2016.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE OFFICE PARK ZONING DISTRICT, AS WELL AS THE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICTS OF THE TOWN OF HINGHAM.
- OVERALL LOT SIZE: 12.059± ACRES
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL MAIN BUILDING ENTRANCES AND WALKS SHALL BE ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES, AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION (MASSDOT), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK; INCLUDING, BUT NOT LIMITED TO, DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS, INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS, IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND SHALL BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, UTILITIES, STORM DRAINAGE, SIGNS, & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF HINGHAM'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.

**DIG SAFE**



**GENERAL NOTES (CONTINUED):**

- EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION & DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- EXISTING & PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS; PERMITS FROM THE PLANNING BOARD OR TOWN COUNCIL, AND AN ORDER OF CONDITIONS FROM THE HINGHAM ZONING BOARD OF APPEALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAM SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE DIRECTOR OF INSPECTORIAL SERVICES AND/OR THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS AND TOWN COUNCIL. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE TOWN OF HINGHAM ZONING CODE.
- THE CONTRACTOR SHALL REVIEW THE RECORD PLAN ENTITLED "BUILDING DEMOLITION AND DEBRIS DISPOSAL AREA PLAN" OF 1988 AND VERIFY, IN THE FIELD, THE ELEVATION AND LOCATION OF THE DEBRIS AND STUMP BURIAL AREA. SPECIAL PRECAUTIONS SHALL BE TAKEN TO ENSURE THIS AREA IS NOT DISTURBED DURING CONSTRUCTION.

**GRADING & DRAINAGE NOTES:**

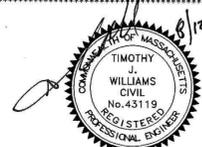
- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, COMPACTOR PAD, ROOF DRAIN LATERALS, AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- TEMPORARY STRAW BALE AND/OR SILT SACK PROTECTION SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED OUT TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS, PRIOR TO FINAL APPROVAL.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RIMS & COVERS & SHALL BE LABELED "DRAIN."
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE & CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
- ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.

**UTILITY NOTES:**

- THE LATEST STANDARDS OF THE TOWN OF HINGHAM SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF HINGHAM PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF HINGHAM SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF HINGHAM PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL & PLUMBING DRAWINGS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGER ARE TO BE REMOVED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
  - SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
  - C.I. (CAST IRON)
  - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
  - WATER - C.L.D.I. (CEMENT LINED DUCTILE IRON)
- REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES TO BE REMOVED AND UTILITY ABANDONMENT.
- BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE THE APPROPRIATE PERMIT AND INSPECTION FEES WITH THE TOWN OF HINGHAM.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES AND A MAXIMUM OF 8'-0" COVER.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THURST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- ALL HYDRANTS SHALL MEET LOCAL MUNICIPAL SPECIFICATION REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF HINGHAM REQUIREMENTS.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF HINGHAM REQUIREMENTS.
- PRESSURE AND LEAKAGE TEST, DISINFECTATION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.
- DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

**TOWN OF HINGHAM LIST OF WAIVERS:**

- SECTION III-A-1.5 - SCHEDULE OF USES
  - WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (72'-3").
  - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1.15).
  - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET).
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
  - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).
- SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
  - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300).
- SECTION IV-E-1B - RESIDENTIAL MULTI-UNIT DEVELOPMENT
  - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE).
- SECTION IV-F-1D
  - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
- SECTION IV-F-1E
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-F-1F
  - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
- SECTION IV-F-1G
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-F-1H
  - WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).
- SECTION IV-G-1
  - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
- SECTION IV-G-2 - OFF-STREET PARKING REQUIREMENTS
  - WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).
- SECTION IV-G-1A - EARTH REMOVAL REGULATIONS
  - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAYS AND COMMON LAND
  - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-3A
  - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
  - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT.
- ARTICLE 22-8
  - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
**BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY**  
 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
**230 BEAL STREET**  
**HINGHAM, MA**

PROJECT NO. 2118-02 DATE: 08-12-2016

SCALE: N/A DWG. NAME: C2118-02

DESIGNED BY: SJL CHECKED BY: CMQ

PREPARED BY:

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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: SHEET No.

ABBREVIATIONS & NOTES ABB-1

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**STORMWATER POLLUTION PREVENTION PLAN**

**2.1 GENERAL**

FOR GRADING AND DRAINAGE SEE DRAWING SHEETS C-3.

2.1.1. THE FIRST STAGE INVOLVES ACTIVITIES NEEDED TO ADDRESS STORMWATER MANAGEMENT; EXCAVATING MATERIAL DESIGNATED FOR OFF-SITE REMOVAL OR ON-SITE RELOCATION; AND FENCING SELECTED AREAS. STAGE ONE WILL PREPARE SITE FOR CONVENTIONAL CONSTRUCTION.

2.1.2. THE SECOND STAGE WILL CONSIST OF ROUTINE CONSTRUCTION INVOLVING DEMOLITION, PAVING, LANDSCAPING AND UTILITIES.

2.1.3. THERE ARE GENERAL PHASES OF CONSTRUCTION AS IDENTIFIED BELOW. IN EACH PHASE OF CONSTRUCTION, IMPLEMENT STANDARD EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO INITIATING EARTH DISTURBING ACTIVITIES, AND MAINTAIN THESE PRACTICES THROUGHOUT THE COURSE OF CONSTRUCTION.

TYPICAL PRACTICES TO BE APPLIED TO THE SITE INCLUDE THE FOLLOWING:

PRIOR TO DEMOLITION AND EARTH DISTURBANCE IN ANY WORK AREA, INSTALL SILTATION BARRIERS (BALES OR SILT FENCE WITH BALES) BETWEEN THE WORK AREA AND THE AREA(S) TO WHICH IT DRAINS.

DISCHARGE WATER FROM DEWATERING OPERATIONS TO A TEMPORARY SILTATION TRAP OR SEDIMENTATION BASIN.

PROVIDE TEMPORARY BERMS AND SWALES TO DIVERT SURFACE WATER AWAY FROM THE AREAS THAT WILL BE EXPOSED BY CONSTRUCTION ACTIVITY TO MINIMIZE THE AMOUNT OF SURFACE WATER COMING INTO CONTACT WITH EXPOSED SOILS. PROVIDE STABLE OUTLETS FOR THESE DEVICES, AND LINE OR VEGETATE THESE DIVERSIONS TO PROVIDE FOR DEVICES, AND LINE OR VEGETATE THESE DIVERSIONS TO PROVIDE FOR THEIR STABILITY DURING CONSTRUCTION.

LIMIT THE EXTENT OF EXPOSED SOILS TO AREAS THAT CAN BE WORKED AND RESTABILIZED WITHIN THE CONSTRUCTION SEASON AND DURING THE SPECIFIC CONSTRUCTION PHASE. WHEN EARTHWORK CONSTRUCTION ACTIVITY IN AN AREA IS COMPLETE, STABILIZE THE AREA WITH A SUITABLE SURFACE AS DESCRIBED BELOW.

IN ADDITION TO THESE PRACTICES, FOLLOW THE SPECIAL PRACTICES DESCRIBED BELOW. COMPLY WITH THE DIRECTIONS OF THE OWNER'S REPRESENTATIVE TO ADDRESS EROSION AND SEDIMENTATION CONDITIONS THAT MAY ARISE ON A CASE BY CASE BASIS DURING CONSTRUCTION.

THE FOLLOWING IS A DESCRIPTION OF MINIMUM CONSTRUCTION REQUIREMENTS AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES WITH REGARD TO DETERMINING THE ADEQUACY OF MEANS AND METHODS OF CONSTRUCTION.

**2.2 ESTIMATED CONSTRUCTION SEQUENCING.**

THE FOLLOWING IS AN ESTIMATED CONSTRUCTION SEQUENCING. SOME ACTIVITIES MAY OCCUR AT THE SAME TIME RATHER THAN AT SEPARATE TIMES OR OUT OF SEQUENCE DUE TO ACTUAL FIELD CONDITIONS OR OTHER FACTORS. ACTUAL SCHEDULING WILL BE COMPLETED BY THE SITE CONTRACTOR.

(CONTRACTOR TO FOLLOW ANY ADDITIONAL PERMIT REQUIREMENTS OR STEPS AT NO ADDITIONAL COST TO THE OWNERS FROM EITHER STATE OR LOCAL PERMITS, THIS INCLUDES BUT IS NOT LIMITED TO THE ORDER OF CONDITIONS FROM THE HINGHAM ZONING BOARD OF APPEALS)

- INSTALL ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO TEMPORARY STRAW BALE FILTERS, SILT SACKS, CONSTRUCTION ENTRANCES, AND STRAWBALES AND SILT FENCE.
- SETUP STAGING AND MATERIAL STORAGE / STOCKPILE AREAS.
- IF REQUIRED, CONSTRUCT TEMPORARY SILT / DEWATERING BASINS.
- PROTECT AND MARK ALL EXISTING ITEMS NOTED TO REMAIN.
- PERFORM DEMOLITION WORK. SURVEY AND IDENTIFY LIMITS OF SITE CLEARING. CONDUCT SITE CLEARING.
- PULVERIZE EXISTING PAVEMENT AND DEMO EXISTING MATERIALS AS NOTED.
- REMOVE EXISTING LOAM AND SUBSOIL AND STOCKPILE FOR REUSE.
- PERFORM ROUGH GRADING AND CONSTRUCT BUILDING FOUNDATIONS.
- INSTALL UNDERGROUND UTILITIES.
- PERFORM FINE GRADING; PLACE BINDER PAVEMENT COURSE.
- PLACE PAVEMENT TOP COURSE; CONSTRUCT SIDEWALKS AND ALL OTHER SITE IMPROVEMENTS.
- INSTALL PAVEMENT MARKING, SITE SIGNAGE & COMPLETE LANDSCAPING.
- REMOVE TEMPORARY SILT CONTROLS AFTER ONCE GIVEN APPROVAL BY TOWN OF HINGHAM OR THE ENGINEER AND SITE IS STABILIZED.

**OPERATION AND MAINTENANCE CONSTRUCTION ACTIVITIES:**

1. CONTACT THE TOWN OF HINGHAM AT LEAST THREE (3) DAYS PRIOR TO START OF CONSTRUCTION.
2. INSTALL STRAWBALES AND SILT FENCE AS SHOWN ON THE EROSION CONTROL PLAN. INSTALL CONSTRUCTION FENCING IF DETERMINED TO BE NECESSARY AT THE COMMENCEMENT OF CONSTRUCTION.
3. INSTALL THE CONSTRUCTION ENTRANCES AT THE LOCATIONS SHOWN ON THE EROSION CONTROL PLAN.
4. SITE ACCESS SHALL BE ACHIEVED ONLY FROM THE DESIGNATED CONSTRUCTION ENTRANCES.
5. STOCKPILES SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR TEMPORARY SEEDING WHENEVER PRACTICABLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
6. INSTALL SILT SACKS AND STRAWBALES AROUND EACH DRAIN INLET AS SOON AS PRACTICABLE.
7. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT.
8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S ENGINEER, THE TOWN ENGINEER, OR THE TOWN CONSERVATION AGENT.
9. SEDIMENT ACCUMULATION UP-GRADE OF THE STRAWBALES AND SILT FENCE GREATER THAN 6" IN DEPTH SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
10. IF IT APPEARS THAT SEDIMENT IS EXITING THE SITE, SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS ADJACENT TO THE SITE. SEDIMENT ACCUMULATION ON ALL ADJACENT CATCH BASIN INLETS SHALL BE REMOVED AND THE SILT SACK REPLACED IF TORN OR DAMAGED.
11. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL AND EROSION NOTES AS SHOWN ON THE SITE DEVELOPMENT PLANS AND SPECIFICATIONS.
12. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSPECTED WEEKLY. THE ENTRANCES SHALL BE MAINTAINED BY ADDING ADDITIONAL CLEAN, ANGULAR, DURABLE STONE TO REMOVE THE SOIL FROM THE CONSTRUCTION VEHICLE TIRES WHEN EXITING THE SITE. IF SOIL IS STILL LEAVING THE SITE VIA THE CONSTRUCTION VEHICLE TIRES, ADJACENT ROADWAYS SHALL BE KEPT CLEAN BY STREET SWEEPING.
13. DUST POLLUTION SHALL BE CONTROLLED USING ON-SITE WATER TRUCKS AND OR AN APPROVED SOIL STABILIZATION PRODUCT.
14. CARE SHOULD BE TAKEN TO PREVENT DISCHARGE OF SEDIMENT TO ABUTTERS.

**2.3 MAINTENANCE**

2.3.1 DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED: SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE VEGETATION ESTABLISHMENT.

2.3.2 TEMPORARY SEDIMENTATION BASINS WILL BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND NO LESS THAN WEEKLY, AND CLEANED AS NEEDED TO RETAIN STORAGE CAPACITY.

2.3.3 TEMPORARY DRAINAGE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY.

2.3.4 THE STRAW BALE AND SILTATION FENCING BARRIERS AND OTHER EROSION AND SEDIMENT CONTROL MEASURES/DEVICES SHALL BE INSPECTED, CLEANED, REPLACED AND/OR REPAIRED AS NECESSARY, AND NO LESS THAN WEEKLY, AND AFTER EACH SIGNIFICANT RAINFALL. ACCUMULATED SEDIMENTS SHALL BE REMOVED WHEN THEY REACH HALF THE HEIGHT OF THE BARRIER.

**2.4 GENERAL**

2.4.1 ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS, FORMERLY SCS) GUIDELINES AND ALL LOCAL MUNICIPAL REGULATIONS.

2.4.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.

2.4.3 EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITEWORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITEWORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

2.4.4 ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED BY THE LOCAL PLANNING BOARD, THEIR AGENTS, AND THE CONSTRUCTION SPECIFICATIONS.

2.4.5 STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.

2.4.6 TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

IF APPLICABLE, EFFORTS SHALL BE MADE TO AVOID STOCKPILING CUT GLACIAL TILL SOILS SINCE STOCKPILING INCREASES EXPOSURE TO PRECIPITATION AND PROVIDES GREATER OPPORTUNITY FOR FROST PENETRATION. SOME OF THE STEPS IN SEQUENCING MAY OCCUR SIMULTANEOUSLY, PARTICULARLY CUT AND FILL OPERATIONS, IN AN EFFORT TO AVOID STOCKPILING.

2.4.7 ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK.

2.4.9 BALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN AREAS SUBJECT TO STORMWATER RUN-OFF FROM PROPOSED CONSTRUCTION, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. NO SEDIMENTS SHALL ENTER THE OFF-SITE DRAINAGE SYSTEMS AT ANY TIME. SEDIMENT DISCHARGE TO OFF-SITE PROPERTY IS PROHIBITED.

2.4.10 CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED FROM INCOMING SILT UNTIL ALL DISTURBED AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED.

2.4.11 ANY DEWATERING REQUIRED DURING CONSTRUCTING ON THE SITE SHALL DISCHARGE INTO A DEWATERING FILTER OR THE TEMPORARY SILT BASIN PRIOR TO DISCHARGE TO THE EXISTING DETENTION BASIN OR TO OFF-SITE.

2.4.12 BALES AND SILTATION FENCING AND TEMPORARY SILT BASIN SHALL BE INSPECTED NO LESS THAN WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL AND REPLACED AS REQUIRED.

2.4.13 ALL PROPOSED NON-RIPRAP SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC AND PROTECTED FROM EROSION.

2.4.14 THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE OR THE MUNICIPAL AGENTS TO MITIGATE ANY EMERGENCY CONDITION.

2.4.16 THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.

2.4.17 DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.

2.4.18 THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER PROPERTY LINE.

2.4.19 THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).

2.4.20 THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

2.4.21 FOLLOWING THE ADDITION OF A BINDER COURSE, THE CONTRACTOR SHALL SWEEP ALL ON-SITE PAVEMENT, IF NECESSARY, UNTIL ALL SITE CONSTRUCTION IS COMPLETED.

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1-888-344-7233

**TOWN OF HINGHAM LIST OF WAIVERS:**

- SECTION III-A-1.5 - SCHEDULE OF USES
  - WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT.
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (27'3").
  - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1:15).
  - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET).
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
  - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).
- SECTION IV-B-6
  - WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.
- SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
  - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300).
- SECTION IV-C-5 - RESIDENTIAL MULTI-UNIT DEVELOPMENT
  - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE).
- SECTION IV-C-10
  - WAIVER FROM PROVIDING 300 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
- SECTION IV-E-1E
  - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1F
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1G
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1I
  - WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).
- SECTION IV-E-5E
  - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
- SECTION IV-A-2 - OFF-STREET PARKING REQUIREMENTS
  - WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).
- SECTION IV-C-1B - EARTH REMOVAL REGULATIONS
  - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAIVER AND COMMON LAND
  - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-3A
  - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
  - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT.
- ARTICLE 22-8
  - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.

TIMOTHY WILLIAMS  
 CIVIL  
 No. 45119  
 REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

**APPLICANT/OWNER:**  
 BROADSTONE BARE COVE ALLIANCE, LLC. C/O  
 ALLIANCE RESIDENTIAL COMPANY  
 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

**PROJECT:**  
 BROADSTONE BARE COVE  
 230 BEAL STREET  
 HINGHAM, MA

**PROJECT NO.** 2118-02    **DATE:** 08-12-2016  
**SCALE:** N/A    **DWG. NAME:** C2118-02  
**DESIGNED BY:** SJL    **CHECKED BY:** CMQ

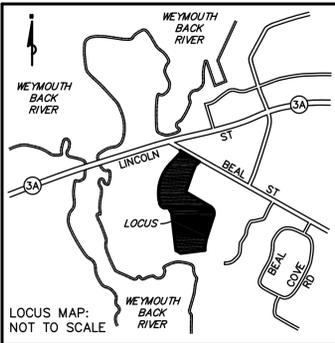
PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
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 environmental consulting • landscape architecture  
 www.a11e.n.m.a.j.o.r.c.o.m  
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**DRAWING TITLE:** ABBREVIATIONS & NOTES    **SHEET NO.:** ABB-3



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BENCHMARK  
X-CUT HYD SPIN  
ELEV=29.57

**FLOOD NOTE**  
THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X (UNSHADED) AND ZONE X (SHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25023C0081J, EFFECTIVE DATE JULY 17, 2012.

**DATUM NOTE**  
THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AND WERE DETERMINED USING GPS OBSERVATIONS AND AN OPUS REDUCTION ON DECEMBER 30, 2016.



**TITLE NOTES:**

- 1) NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- 2) NO APPARENT CHANGES IN STREET RIGHT OF WAY LINES, EITHER COMPLETED OR PROPOSED WERE OBSERVED.
- 3) NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- 4) NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY OR BURIAL GROUND.
- 5) THE BUILDING NUMBER WAS OBSERVED.
- 6) THE PREMISES HAS 99 SPACES MARKED FOR PARKING.  
REGULAR SPACES = 88  
HANDICAPPED SPACES = 11
- 7) OWNER: HINGHAM MUTUAL FIRE INSURANCE COMPANY  
DEED BOOK 8081 PAGE 289  
ASSESSOR'S PARCEL ID 46-0-17

**SCHEDULE B - SECTION 2: EXCEPTIONS of First American Title Insurance Company. Commitment for Title Insurance, Commitment Number NCS-761162-BOS1, Effective Date: November 17, 2015**

- 5 Easement granted by James M. Salah to Hingham Property Trust dated September 19, 1977, recorded in Book 4392, Page 146. See plan recorded in Plan Book 19, Page 1001. EASEMENT DESCRIBED IS NOT ON LOCUS PROPERTY, 20' WIDE SEWER EASEMENT SHOWN HEREON CONNECTS TO SAID EASEMENT TO THE WEST OF THE LOCUS PROPERTY.
- 6 Final Order issued by the Commonwealth of Massachusetts Department of Environmental Management dated January 13, 1987, recorded in Book 7574, Page 221. See plan recorded in Plan Book 28, Page 892. NOT A SURVEY RELATED ITEM.
- 7 This item has been intentionally deleted.
- 8 Site Assignment by Hingham Board of Health dated May 4, 1988, recorded in Book 8647, Page 280. NOT A SURVEY RELATED ITEM.
- 9 Letter issued by the Commonwealth of Massachusetts Department of Environmental Quality Engineering to Hingham Mutual Fire Insurance Co. dated August 25, 1988, recorded in Book 8674, Page 282. NOT A SURVEY RELATED ITEM.
- 10 This item has been intentionally deleted.
- 11 This item has been intentionally deleted.
- 12 This item has been intentionally deleted.

**LEGEND:**

- BERM BITUMINOUS CONCRETE BERM
- BIT CONC BITUMINOUS CONCRETE
- BW BARBED WIRE
- CB CATCH BASIN
- CLF CHAIN LINK FENCE
- DMH DRAIN MANHOLE
- GC GRANITE CURB
- GW GUY WIRE
- I= INVERT
- LP LIGHT POLE
- MC METAL COVER
- P POST
- R= RIM
- RCP REINFORCED CONCRETE PIPE
- RET RETAINING SIGN
- S SIGN
- SMH SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- TP TEST PIT
- TR TRANSFORMER
- UP UTILITY POLE
- WF WETLAND FLAG
- WG WATER GATE

N/F  
THE COMMONWEALTH OF MASSACHUSETTS  
9140/78

LOT B-1  
12.059± Acres

N/F  
TOWN OF HINGHAM  
37126/209

N/F  
TOWN OF HINGHAM  
33208/12

**SCHEDULE A: LEGAL DESCRIPTION of First American Title Insurance Company. Commitment for Title Insurance, Commitment Number NCS-761162-BOS1, Effective Date: November 17, 2015**

Real property located at 230 Beal Street in the Town of Hingham, County of Plymouth, Commonwealth of Massachusetts, described as follows:

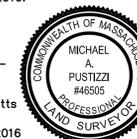
Shown as Lot B1 containing 12.059 acres on plan recorded in Plan Book 29, Page 965 and on plan recorded in Plan Book 30, Page 494.

Together with the Sewer and Drainage Easements set forth in the deed dated October 21, 1987, recorded in Book 8081, Page 289.

To: First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 6b, 7a, 7b, 7c, 8, 9, 11a, 13, 14, 16, 17, 18, and 21 of Table A thereof. The field work was completed on January 6, 2016.

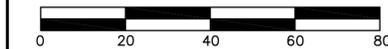
Michael A. Pustizzi, PLS  
Registration No. 46505  
in the Commonwealth of Massachusetts  
Date of Survey: January 6, 2016  
Date of Last Revision: January 18, 2016



#230 BEAL STREET

EXISTING CONDITIONS PLAN  
IN  
**HINGHAM, MA**  
(PLYMOUTH COUNTY)

SCALE: 1"= 20' DATE: JANUARY 6, 2016

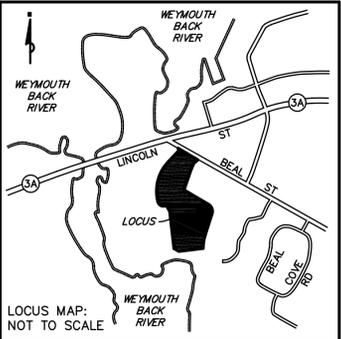


Precision Land Surveying, Inc.  
32 Tumpike Road  
Southborough, Massachusetts 01772  
TEL NO: (508) 460-1789 FAX NO: (508) 970-0096  
4402TP1.DWG SHEET 1 OF 4

SHEET 1  
SHEET 2

MATCHLINE

MATCHLINE



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



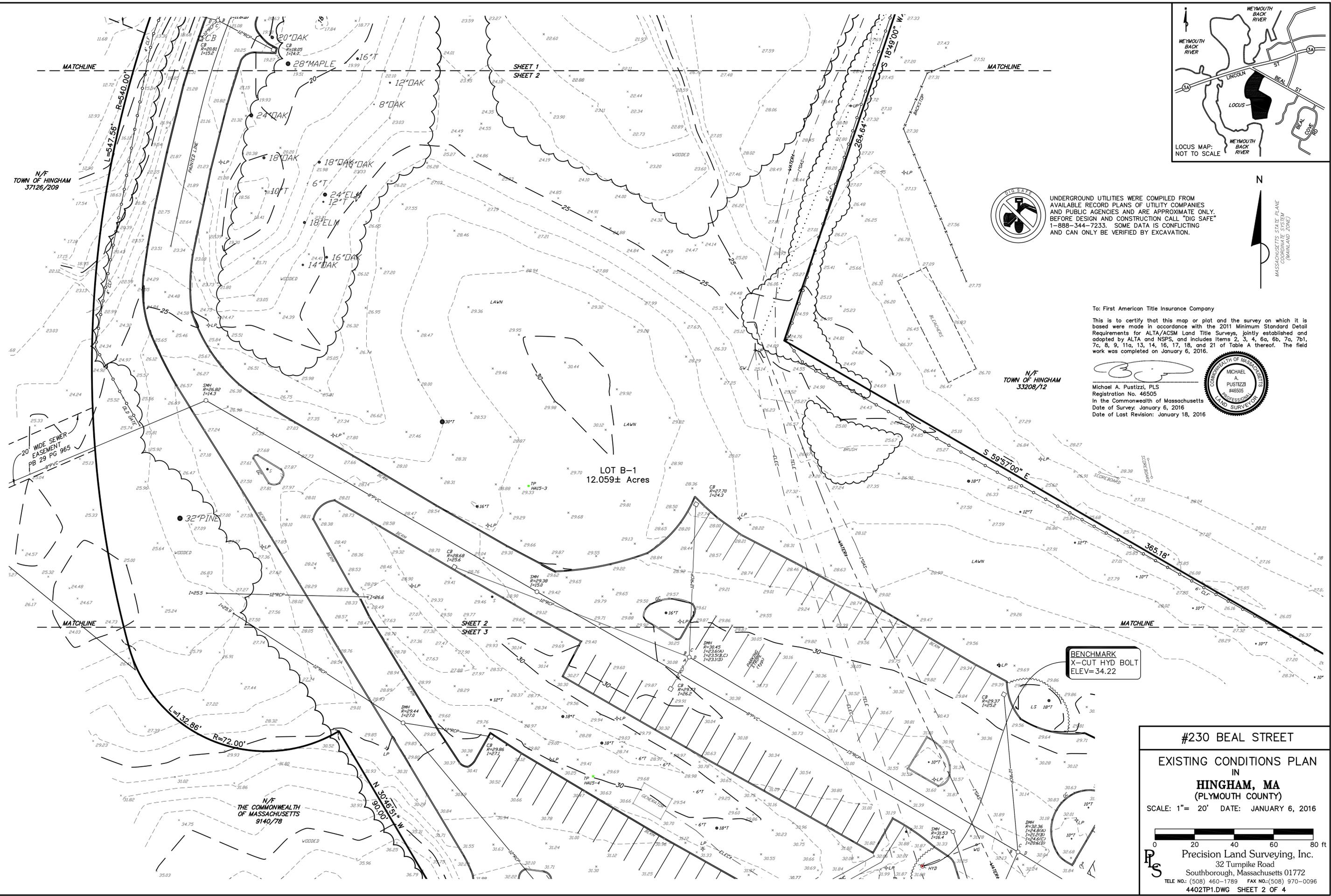
To: First American Title Insurance Company

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 11a, 13, 14, 16, 17, 18, and 21 of Table A thereof. The field work was completed on January 6, 2016.

Michael A. Pustizzi, PLS  
 Registration No. 46505  
 In the Commonwealth of Massachusetts  
 Date of Survey: January 6, 2016  
 Date of Last Revision: January 18, 2016



N/F TOWN OF HINGHAM  
 33208/12



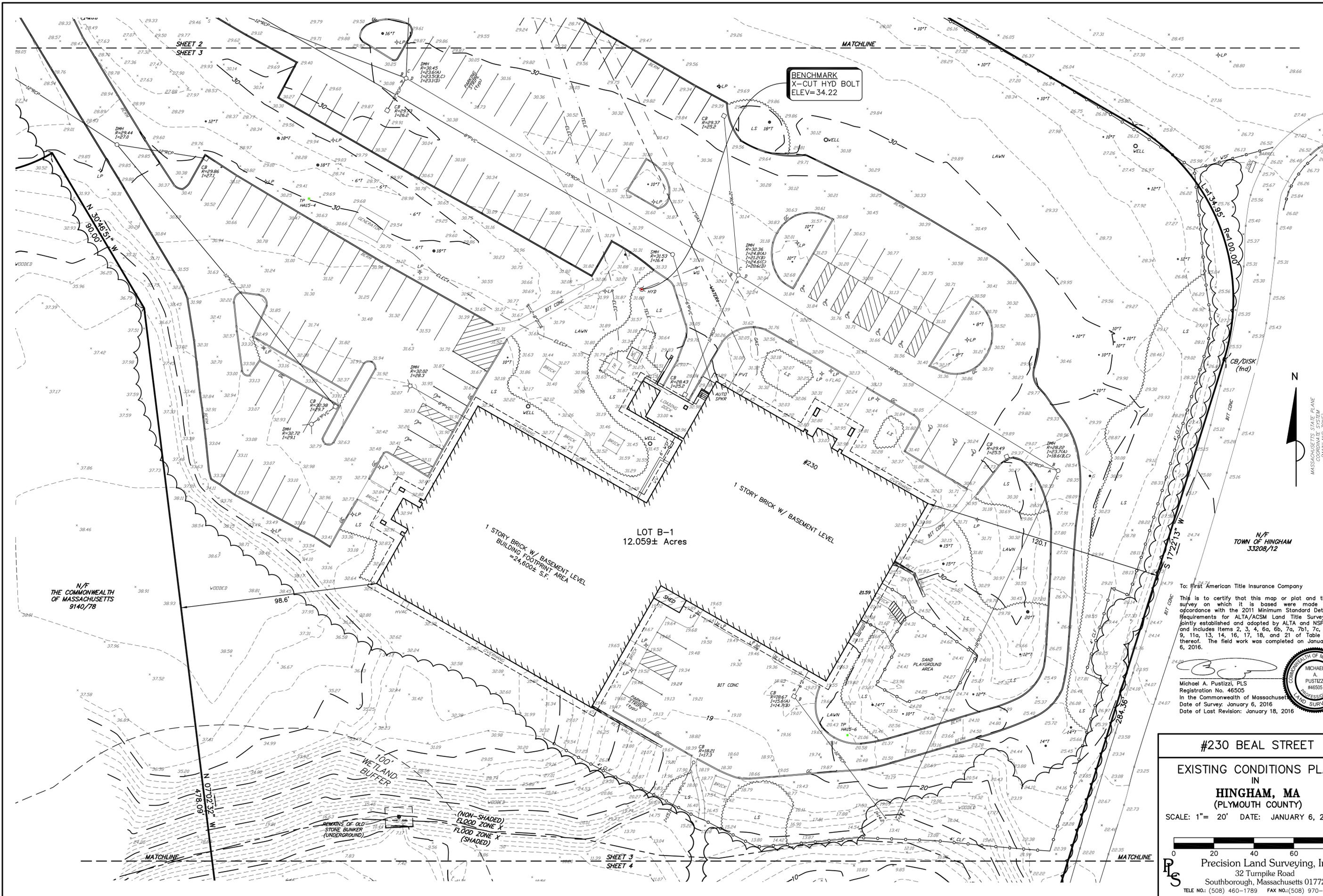
BENCHMARK  
 X-CUT HYD BOLT  
 ELEV=34.22

**#230 BEAL STREET**

**EXISTING CONDITIONS PLAN**  
 IN  
**HINGHAM, MA**  
 (PLYMOUTH COUNTY)

SCALE: 1"= 20' DATE: JANUARY 6, 2016

Precision Land Surveying, Inc.  
 32 Tumpike Road  
 Southborough, Massachusetts 01772  
 TELE NO: (508) 460-1789 FAX NO: (508) 970-0096  
 4402TP1.DWG SHEET 2 OF 4



BENCHMARK  
X-CUT HYD BOLT  
ELEV= 34.22

LOT B-1  
12.059± Acres

1 STORY BRICK W/ BASEMENT LEVEL  
BUILDING FOOTPRINT AREA  
=24,600± S.F.

N/F  
THE COMMONWEALTH  
OF MASSACHUSETTS  
9140/78

N/F  
TOWN OF HINGHAM  
33208/12

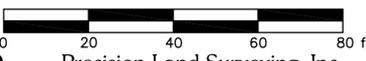
To: First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 11a, 13, 14, 16, 17, 18, and 21 of Table A thereof. The field work was completed on January 6, 2016.

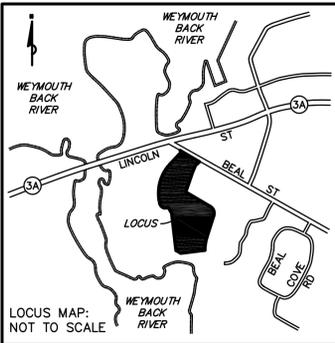
Michael A. Pustizzi, PLS  
Registration No. 46505  
In the Commonwealth of Massachusetts  
Date of Survey: January 6, 2016  
Date of Last Revision: January 18, 2016



#230 BEAL STREET  
EXISTING CONDITIONS PLAN  
IN  
HINGHAM, MA  
(PLYMOUTH COUNTY)  
SCALE: 1"= 20' DATE: JANUARY 6, 2016



Precision Land Surveying, Inc.  
32 Turnpike Road  
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TEL NO: (508) 460-1789 FAX NO: (508) 970-0096  
44021P1.DWG SHEET 3 OF 4

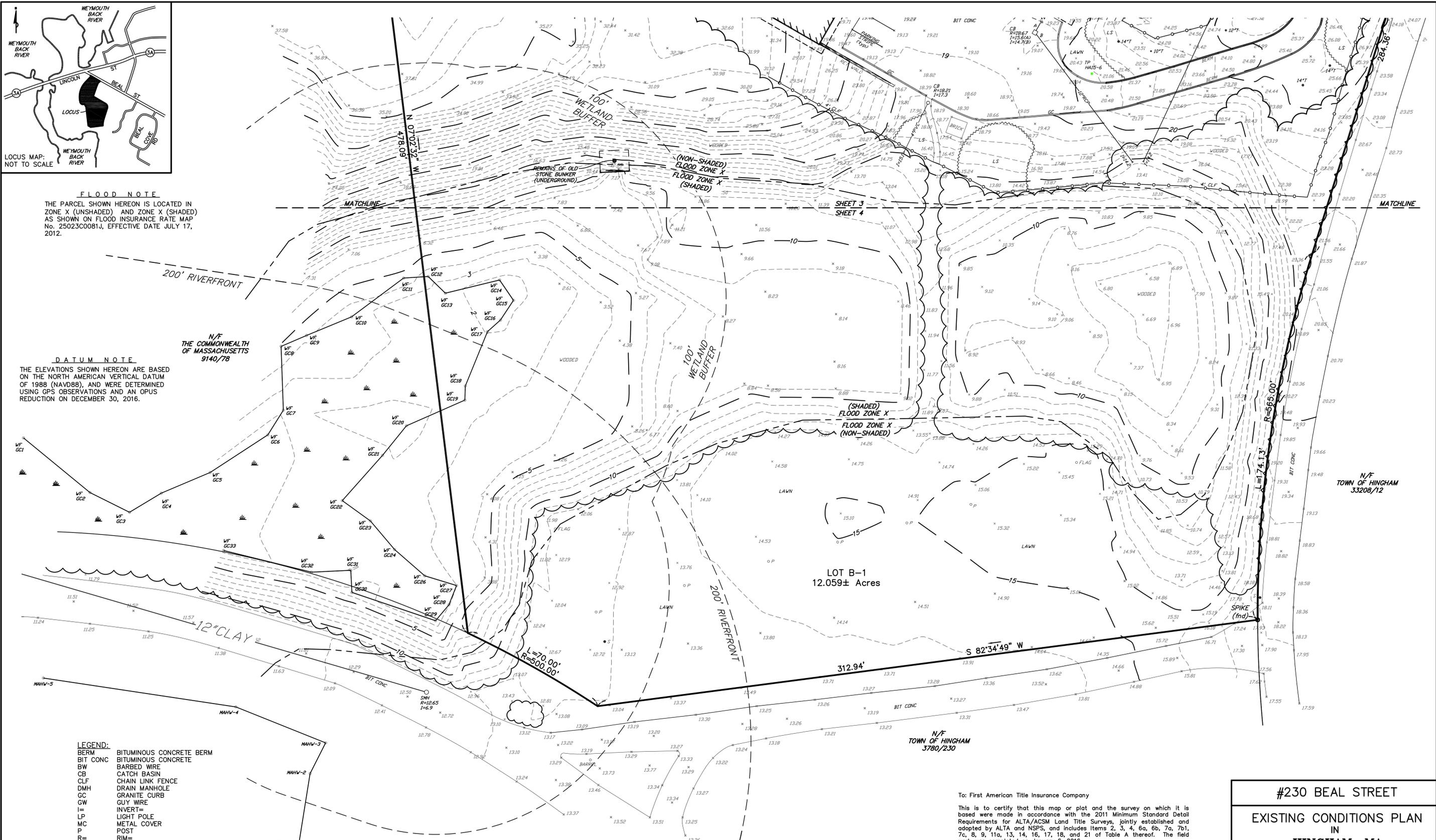


**FLOOD NOTE**

THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X (UNSHADED) AND ZONE X (SHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25023C0081J, EFFECTIVE DATE JULY 17, 2012.

**DATUM NOTE**

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AND WERE DETERMINED USING GPS OBSERVATIONS AND AN OPUS REDUCTION ON DECEMBER 30, 2016.



- LEGEND:**
- BERM BITUMINOUS CONCRETE BERM
  - BIT CONC BITUMINOUS CONCRETE
  - BW BARBED WIRE
  - CB CATCH BASIN
  - CLF CHAIN LINK FENCE
  - DMH DRAIN MANHOLE
  - GC GRANITE CURB
  - GW GUY WIRE
  - I= INVERT
  - LP LIGHT POLE
  - MC METAL COVER
  - P POST
  - R= RIM
  - RCP REINFORCED CONCRETE PIPE
  - RET RETAINING
  - S SIGN
  - SMH SEWER MANHOLE
  - TMH TELEPHONE MANHOLE
  - TP TEST PIT
  - TR TRANSFORMER
  - UP UTILITY POLE
  - WF WETLAND FLAG
  - WG WATER GATE



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

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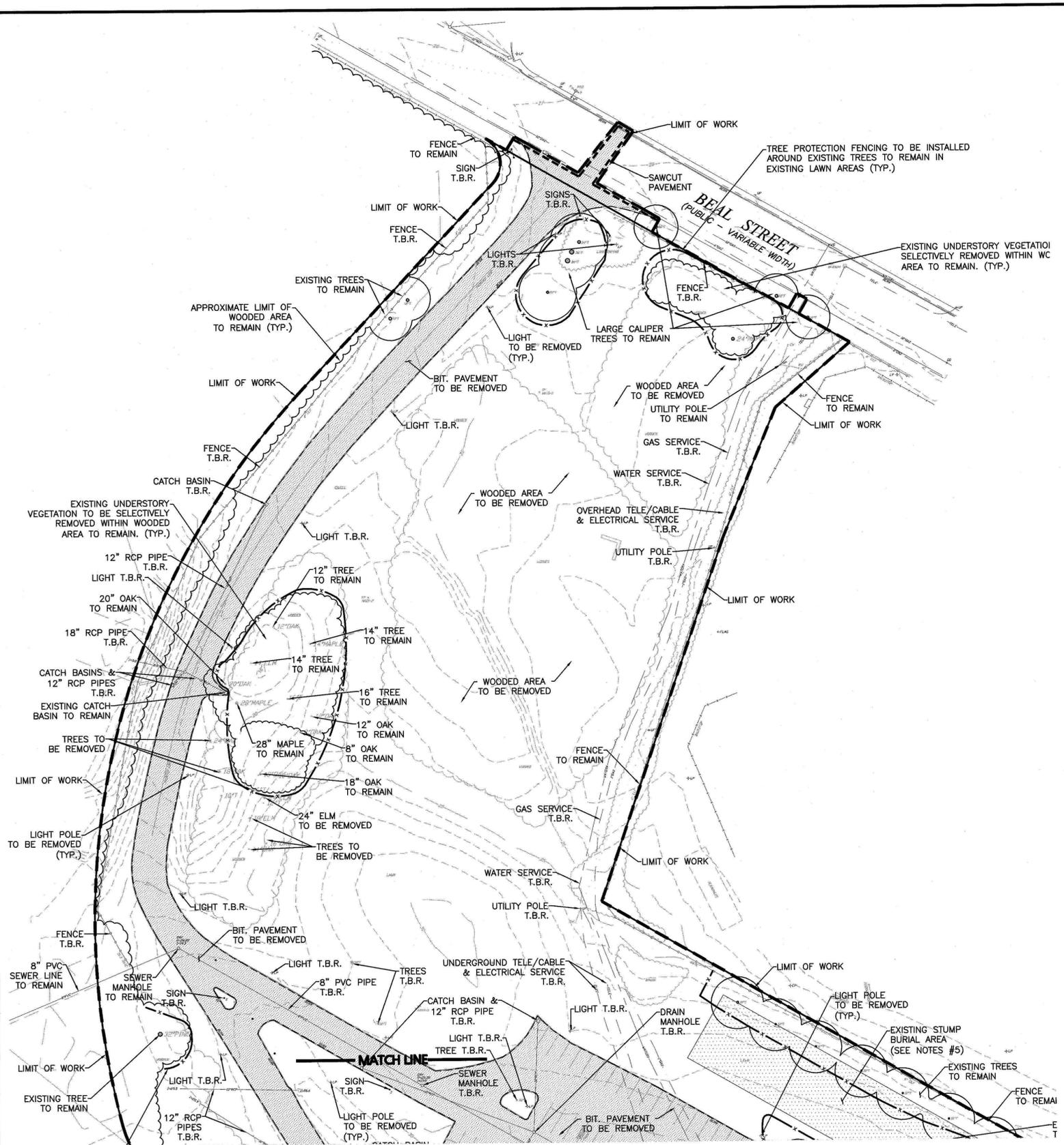


**#230 BEAL STREET**

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 IN  
**HINGHAM, MA**  
 (PLYMOUTH COUNTY)

SCALE: 1"= 20' DATE: JANUARY 6, 2016

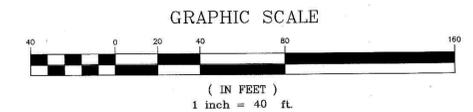
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 32 Tumpike Road  
 Southborough, Massachusetts 01772  
 TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096  
 4402TP1.DWG SHEET 4 OF 4



**LEGEND:**

PROPERTY LINE	---
BUILDING TO BE REMOVED	▨
SAWCUT PAVEMENT LINE	- - - - -
LIMIT OF WORK	---
TREE PROTECTION/FENCING	x x
PAVEMENT T.B.R.	▨
EXISTING WETLANDS	○ ○
EXISTING TREES TO REMAIN	○
EDGE OF EXISTING WETLANDS BUFFER	~
100-FOOT STATE JURISDICTIONAL WETLANDS BUFFER	---
50-FOOT LOCAL NO DISTURB WETLANDS BUFFER	---
TO BE REMOVED	T.B.R.

- NOTES:**
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  - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF HINGHAM DEPARTMENT OF PUBLIC WORKS (DPW) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
- DIGSAFE: 1-888-344-7233  
HINGHAM DPW: 781-741-1430
- SEE ABBREVIATIONS AND NOTES PLAN, SHEET ABB-1 - ABB-2 FOR EROSION CONTROL NOTES.
  - THE CONTRACTOR SHALL REVIEW THE RECORD PLAN ENTITLED "BUILDING DEMOLITION AND DEBRIS DISPOSAL AREA PLAN" OF 1988 AND VERIFY, IN THE FIELD, THE ELEVATION AND LOCATION OF THE DEBRIS AND STUMP BURIAL AREA. SPECIAL PRECAUTIONS SHALL BE TAKEN TO ENSURE THIS AREA IS NOT DISTURBED DURING CONSTRUCTION.



N:\PROJECTS\2118-02\CIVIL\DRAWINGS\CURRENT\C-2118-02 - DEMOLITION.DWG

- TOWN OF HINGHAM LIST OF WAIVERS:**
- SECTION III-A-1.5 - SCHEDULE OF USES
    - WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT
  - SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
    - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (72'-4")
    - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1.07)
    - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.2 FEET)
  - SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
    - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
    - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.4%)
  - SECTION IV-B-6
    - WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.
  - SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
    - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300)
  - SECTION IV-E-1B - RESIDENTIAL MULTI-UNIT DEVELOPMENT
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  - SECTION IV-E-1D
    - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
  - SECTION IV-E-1E
    - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
  - SECTION IV-E-1F
    - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
  - SECTION IV-E-1G
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  - SECTION IV-E-1H
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  - SECTION IV-E-5E
    - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
  - SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS
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  - ARTICLE 22-5
    - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT
  - ARTICLE 22-8
    - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT/OWNER:		
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY 184 HIGH STREET, SUITE 401 BOSTON, MA 02110		

**PROJECT:**  
BROADSTONE BARE COVE  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	1" = 40'	DWG. NAME:	C2118-02
DESIGNED BY:	SJL	CHECKED BY:	CMQ

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

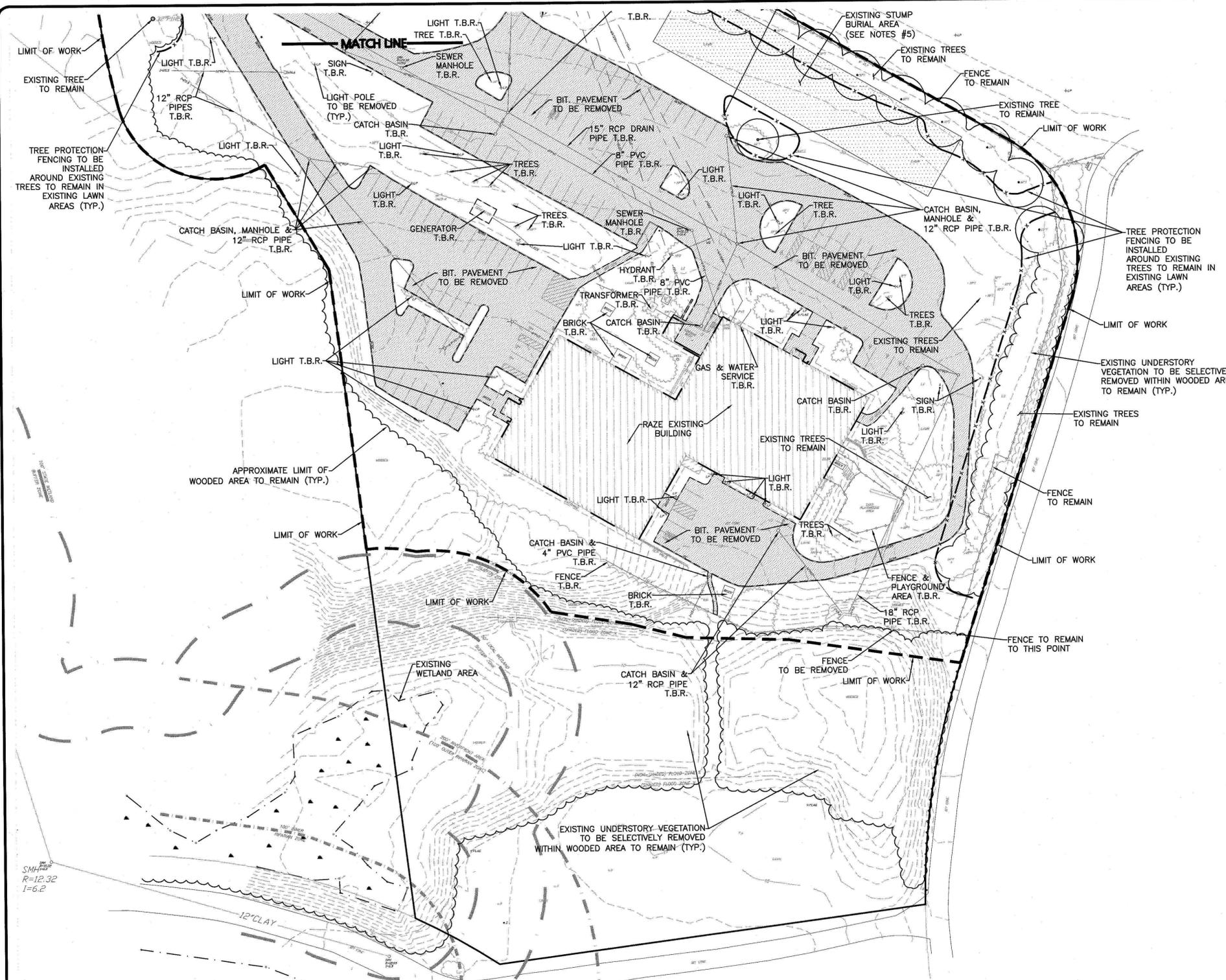
100 COMMERCE WAY  
P.O. BOX 2118  
WOBURN MA 01888-0118  
TEL: (781) 935-6889  
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
DEMOLITION PLAN	C-1A

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**LEGEND:**

PROPERTY LINE:

BUILDING TO BE REMOVED:

SAWCUT PAVEMENT LINE:

LIMIT OF WORK:

TREE PROTECTION/FENCING:

PAVEMENT T.B.R.:

EXISTING TREES TO REMAIN:

EDGE OF EXISTING WETLANDS BUFFER:

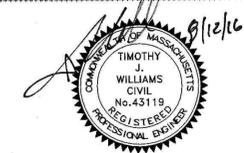
100-FOOT STATE JURISDICTIONAL WETLANDS BUFFER:

50-FOOT LOCAL NO DISTURB WETLANDS BUFFER:

TO BE REMOVED: T.B.R.

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230 BEAL STREET  
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PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	1" = 40'	DWG. NAME:	C2118-02
DESIGNED BY:	SJL	CHECKED BY:	CMQ

PREPARED BY:

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environmental consulting • landscape architecture  
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100 COMMERCE WAY  
P.O. BOX 2118  
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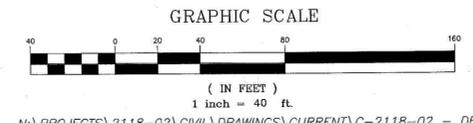
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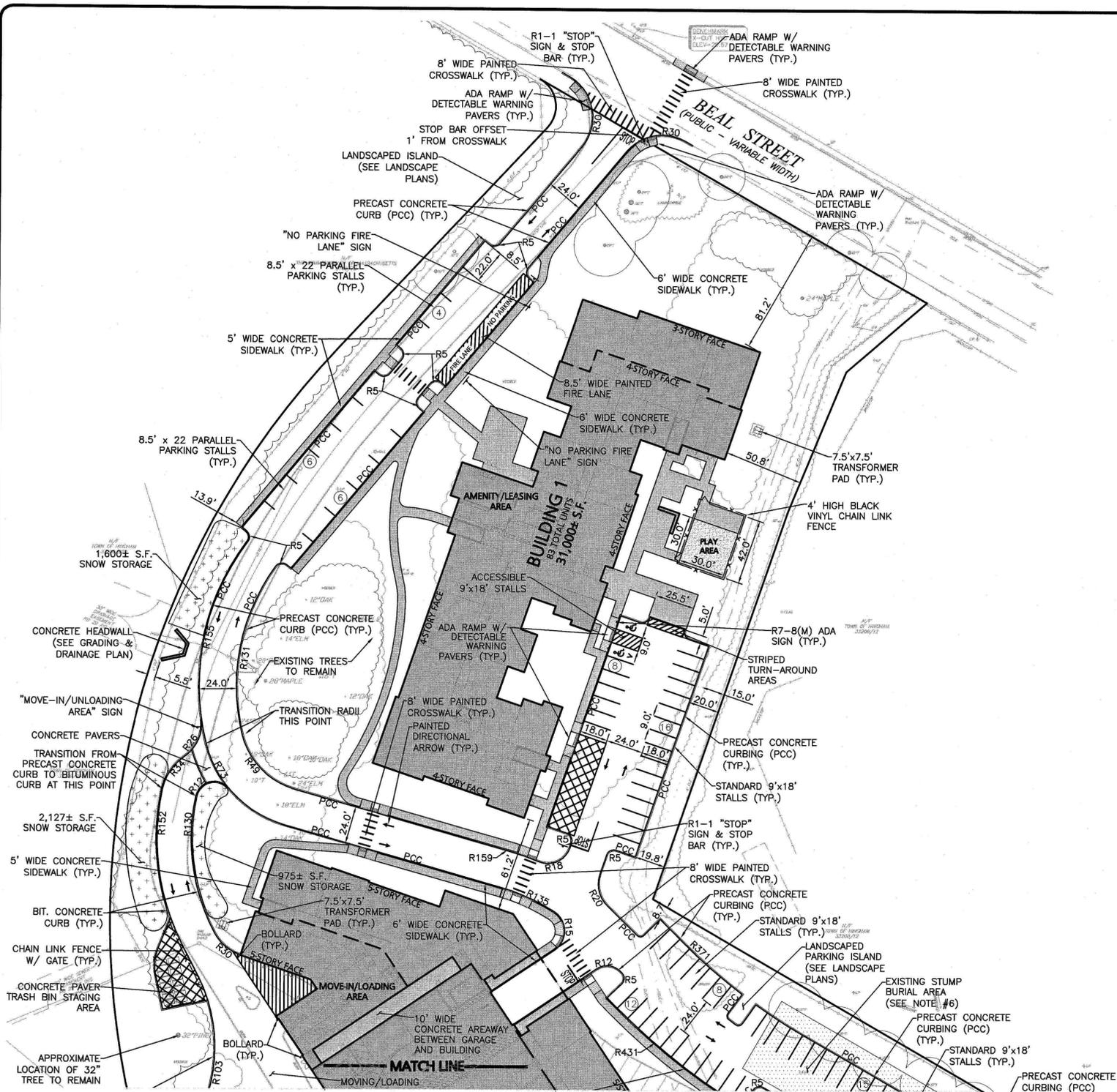
DRAWING TITLE:	SHEET No.
DEMOLITION PLAN	C-1B

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1-888-344-7233



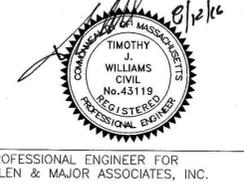


**LEGEND:**

PROP. PROPERTY LINE	---
SIGN	⊥
BOLLARD	⊙
BUILDING	▒
BUILDING ARCHITECTURE	▒
BUILDING INTERIOR WALLS	▒
CURB	—
RETAINING WALL	—
PARKING STRIPING	—
ROADWAY STRIPING	—
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▒
SIDEWALK	▒
GRASSCRETE PAVERS	▒
PERVIOUS PAVERS	▒
ADA ACCESSIBLE RAMP	▒
ADA DET. WARNING SURFACE	▒
TRANSFORMER	⊕
PARKING COUNT	⊕
SNOW STORAGE	▒
WOOD GUARDRAIL	—
CHAIN LINK FENCE	—
WOOD FENCE	—
DECORATIVE FENCE	—

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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	1" = 40'	DWG. NAME:	C2118-02
DESIGNED BY:	SJL	CHECKED BY:	CMQ



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civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY  
P.O. BOX 2118  
WOBURN MA 01888-0118  
TEL: (781) 985-6889  
FAX: (781) 985-2896  
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET NO.
LAYOUT & MATERIALS PLAN	C-2A

**DIMENSIONAL REQUIREMENTS: OFFICE PARK DISTRICT  
FLOOD PLAIN & WATERSHED PROTECTION DISTRICT**

ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA (MIN.)	217,800 S.F. 5.0 ACRES	525,291± S.F. 12.059± ACRES	525,291± S.F. 12.059± ACRES
LOT FRONTAGE (MIN.)	200'	217.2'	217.2'
FRONT YARD BUILDING SETBACK	100' (MIN.)	798.7'	81.2' *
SIDE YARD BUILDING SETBACK	50' (MIN.)	98.6'	50.8'
REAR YARD BUILDING SETBACK	50' (MIN.)	291.6'	268.8'
BUILDING LOT COVERAGE (MAX.)	20%	4.7%	24.4% *
BUILDING HEIGHT (MAX.)	35'	TBD	72'± *
FLOOR AREA RATIO	0.15	.05	1.07 *

\* WILL REQUIRE RELIEF THROUGH A COMPREHENSIVE PERMIT.

**OFF-STREET PARKING SUMMARY**

USE: RESIDENTIAL USES, INCLUDING SINGLE FAMILY, TWO FAMILY, AND MULTI-FAMILY

2.0 SPACES PER UNIT

**PARKING SUMMARY:**

MULTI-FAMILY 300 UNITS x 2.0 SPACES/UNIT = 600 SPACES  
TOTAL OFF-STREET PARKING REQUIREMENT = 600 SPACES

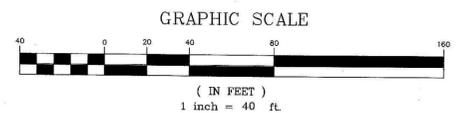
ADA REQUIRED: THERE ARE BETWEEN 401-500 PARKING SPACES, REQUIRING 9 TOTAL PARKING STALLS TO BE ACCESSIBLE.

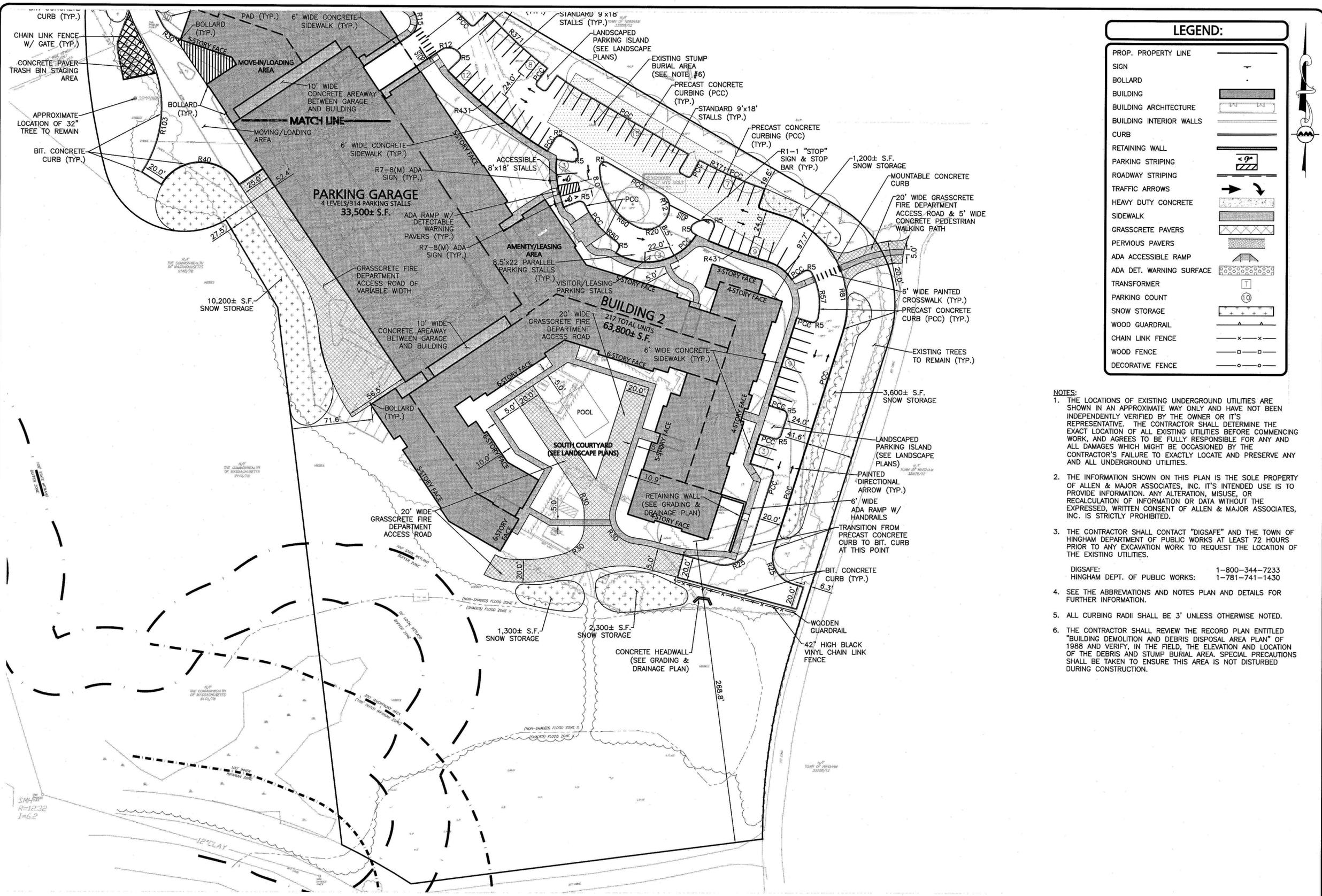
ADA PROVIDED: 12 TOTAL ACCESSIBLE PARKING, WITH 4 BEING VAN ACCESSIBLE.

UNCOVERED PARKING		GARAGE PARKING		TOTAL PROVIDED	TOTAL REQUIRED
STANDARD (9' x 18')	ACCESSIBLE (9' x 18')	STANDARD (9' x 18')	ACCESSIBLE (9' x 18')		
105	4	306	8	423 *	600

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1-888-344-7233





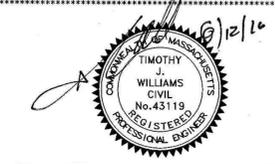
**LEGEND:**

PROP. PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	▭
BUILDING ARCHITECTURE	▭
BUILDING INTERIOR WALLS	▭
CURB	—
RETAINING WALL	—
PARKING STRIPING	▨
ROADWAY STRIPING	▨
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	▨
SIDEWALK	▨
GRASSCRETE PAVERS	▨
PERVIOUS PAVERS	▨
ADA ACCESSIBLE RAMP	▨
ADA DET. WARNING SURFACE	▨
TRANSFORMER	⊕
PARKING COUNT	⊕
SNOW STORAGE	▨
WOOD GUARDRAIL	—
CHAIN LINK FENCE	—
WOOD FENCE	—
DECORATIVE FENCE	—

- NOTES:**
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  - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF HINGHAM DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.  
DIGSAFE: 1-800-344-7233  
HINGHAM DEPT. OF PUBLIC WORKS: 1-781-741-1430
  - SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
  - ALL CURBING RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
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PREPARED BY:

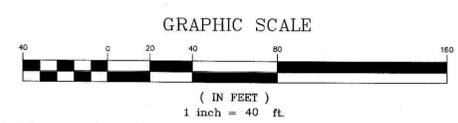
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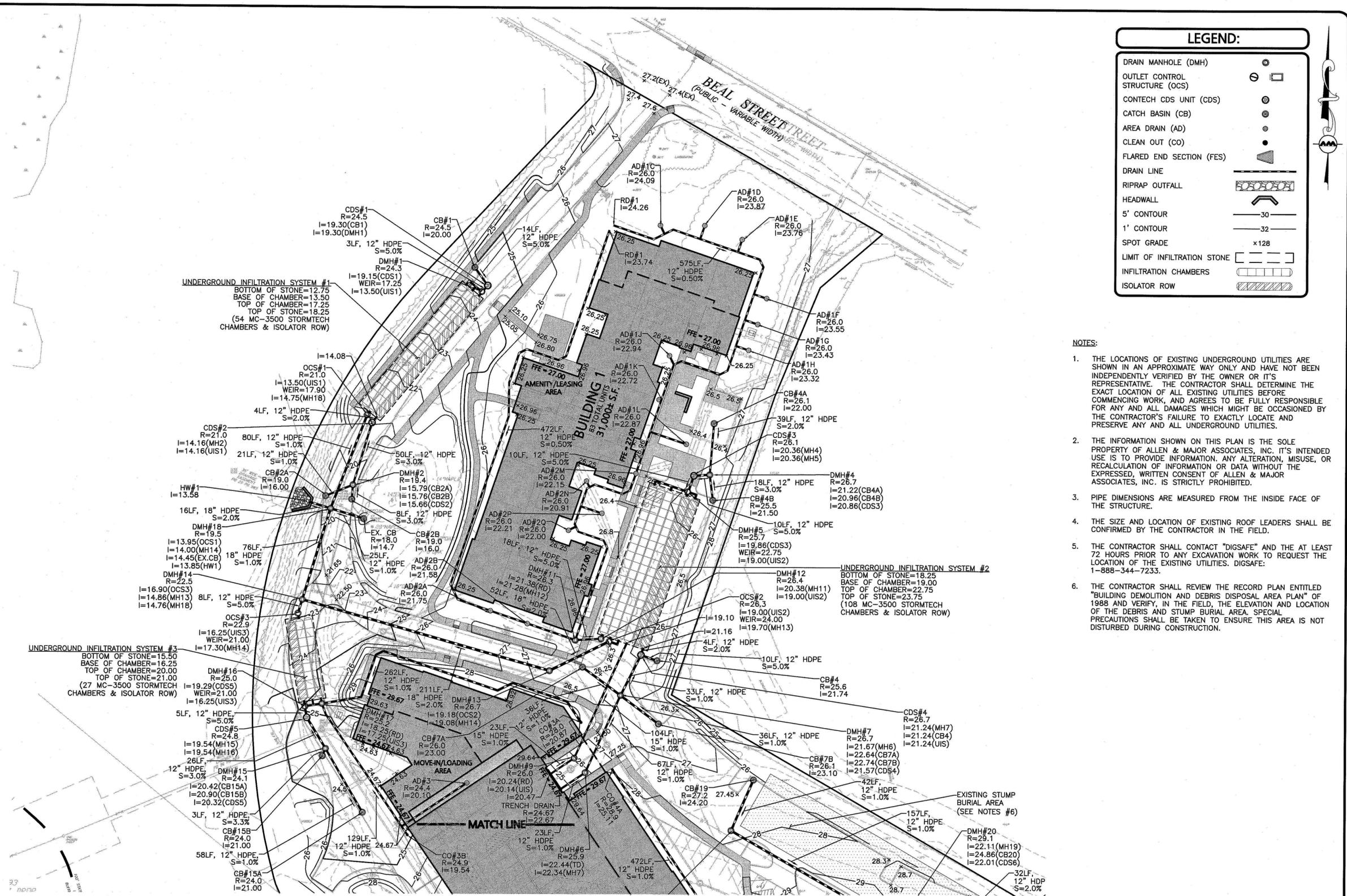
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LAYOUT & MATERIALS PLAN	C-2B

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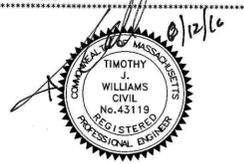
**LEGEND:**

- DRAIN MANHOLE (DMH)
- OUTLET CONTROL STRUCTURE (OCS)
- CONTECH CDS UNIT (CDS)
- CATCH BASIN (CB)
- AREA DRAIN (AD)
- CLEAN OUT (CO)
- FLARED END SECTION (FES)
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- LIMIT OF INFILTRATION STONE
- INFILTRATION CHAMBERS
- ISOLATOR ROW

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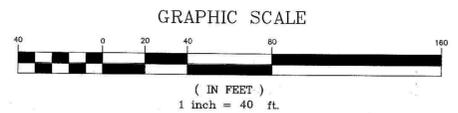
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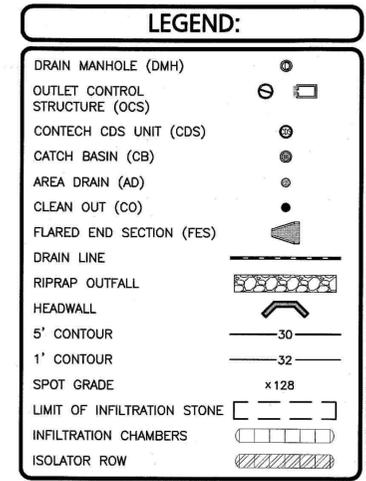
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DRAWING TITLE: GRADING & DRAINAGE PLAN	SHEET No. C-3A
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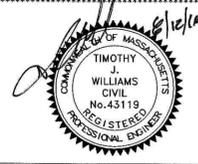
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DESIGNED BY:	SJL	CHECKED BY:	CMQ

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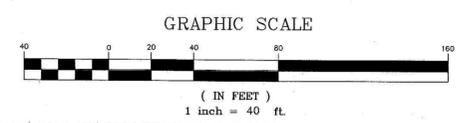
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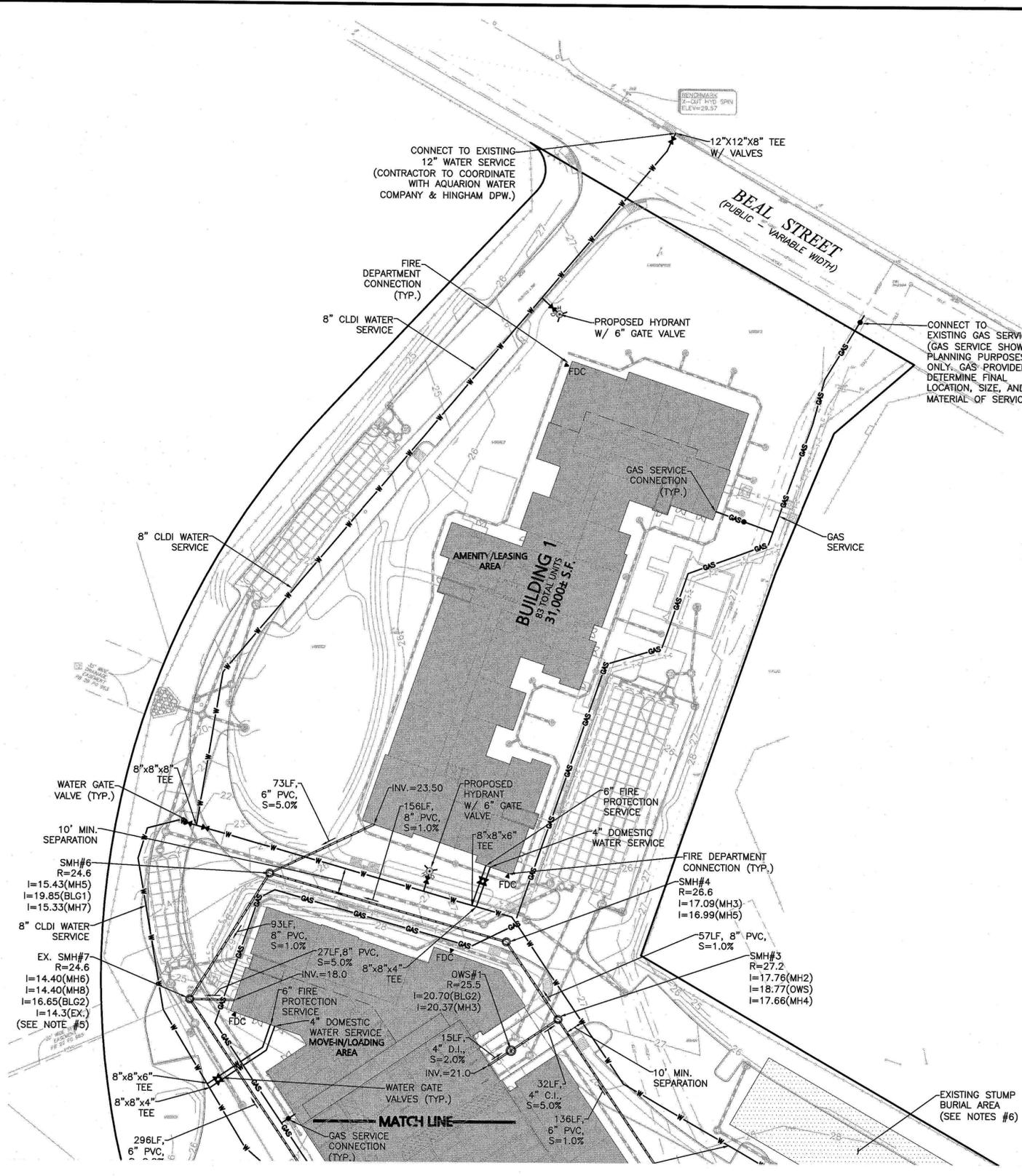
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DRAWING TITLE:	SHEET No.
GRADING & DRAINAGE PLAN	C-3B

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**LEGEND:**

SEWER MANHOLE (SMH)	⊙
SEWER CLEANOUT (CO)	●
OIL/WATER SEPARATOR (OWS)	⊗
SEWER VENT	⊖
SEWER LINE	—
WATER SERVICE	—
POST INDICATOR VALVE (PIV)	●
FIRE DEPT. CONNECTION	▼FDC
WATER VALVE (WV)	⊕
HYDRANT	⊙
WATER LINE REDUCER	▶
GAS LINE	—
GAS VALVE	●

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*Timothy Williams*  
 TIMOTHY WILLIAMS  
 CIVIL ENGINEER  
 No. 43119  
 REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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 BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
 230 BEAL STREET  
 HINGHAM, MA

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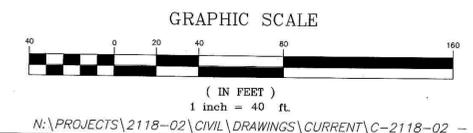
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DRAWING TITLE: **UTILITY PLAN**    SHEET No. **C-4A**

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SEWER CLEANOUT (CO)	●
OIL/WATER SEPARATOR (OWS)	⊗
SEWER VENT	○
SEWER LINE	—
WATER SERVICE	—
POST INDICATOR VALVE (PIV)	●
FIRE DEPT. CONNECTION	▼ FDC
WATER VALVE (WV)	⊕
HYDRANT	⊙
WATER LINE REDUCER	—
GAS LINE	— GAS —
GAS VALVE	●

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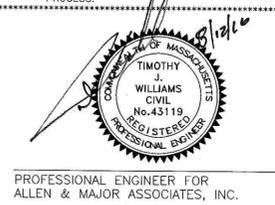
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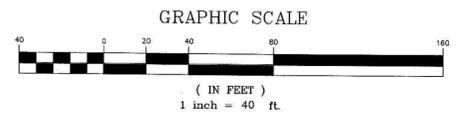
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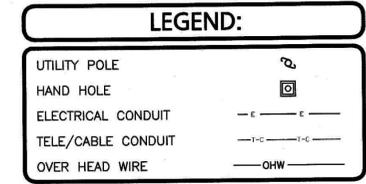
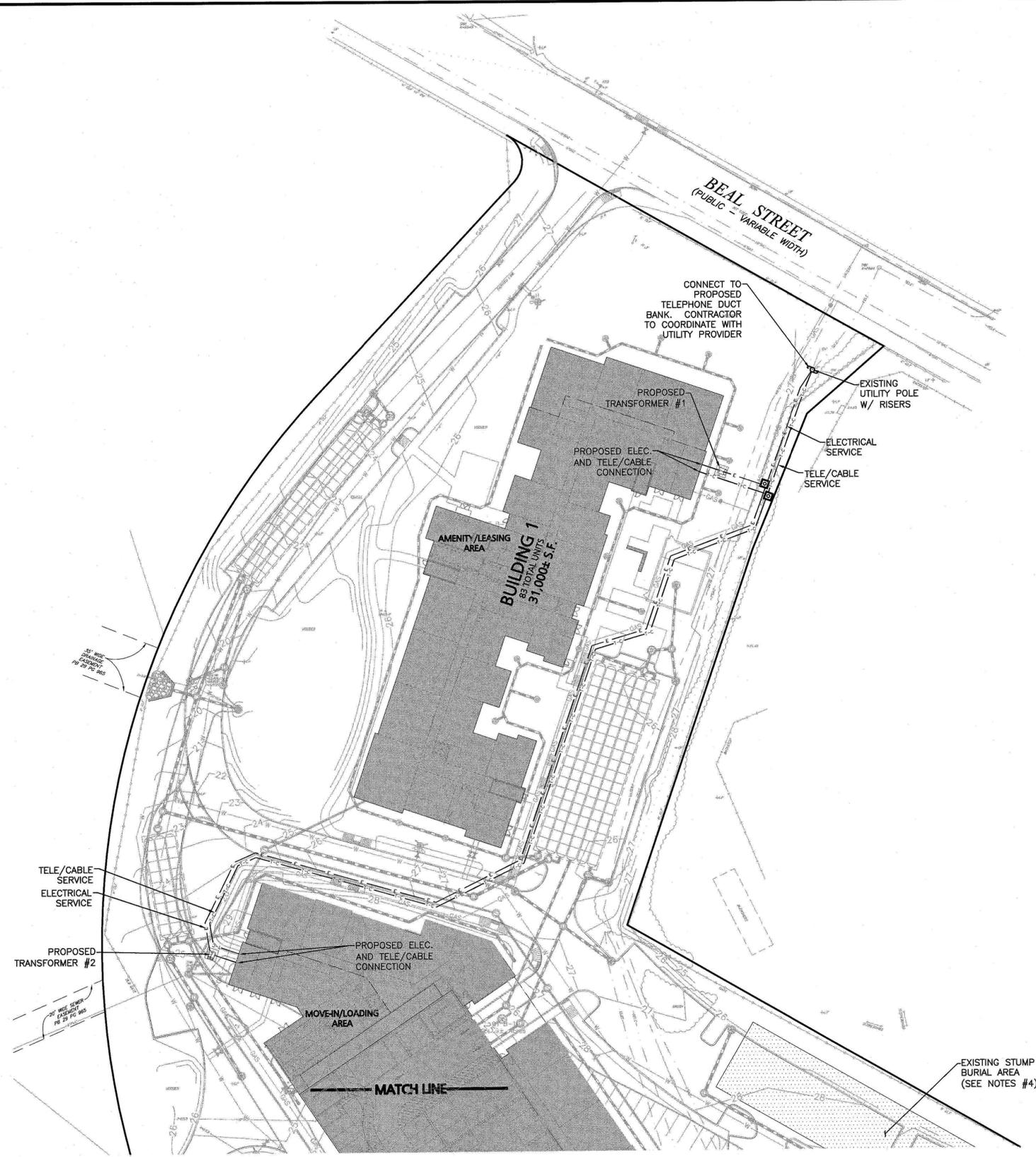
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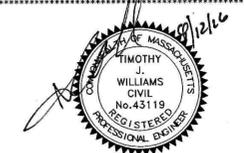
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 230 BEAL STREET  
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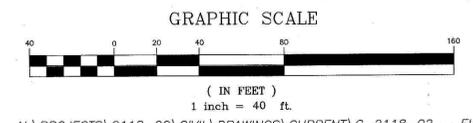
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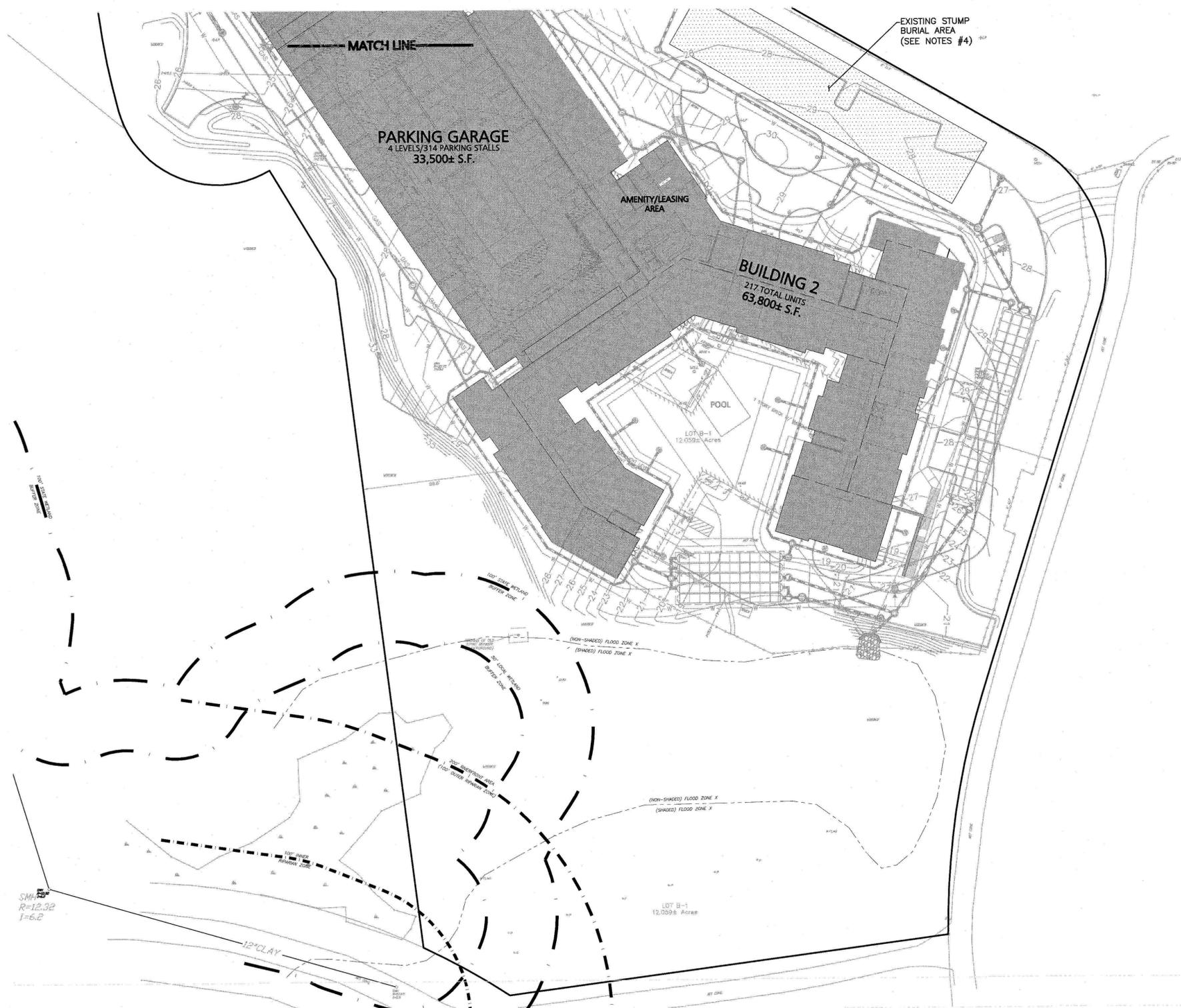
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HAND HOLE	
ELECTRIC CONDUIT	
TELE/CABLE CONDUIT	
OVER HEAD WIRE	

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  - ELECTRIC AND TELECOMMUNICATIONS LINES ARE SHOWN FOR COORDINATION PURPOSES ONLY. FINAL LOCATION OF TRANSFORMERS OR UNDERGROUND ELECTRIC AND TELE/ DATA LINES SHALL BE DETERMINED BY THE UTILITY PROVIDER.
  - THE CONTRACTOR SHALL REVIEW THE RECORD PLAN ENTITLED "BUILDING DEMOLITION AND DEBRIS DISPOSAL AREA PLAN" OF 1988 AND VERIFY, IN THE FIELD, THE ELEVATION AND LOCATION OF THE DEBRIS AND STUMP BURIAL AREA. SPECIAL PRECAUTIONS SHALL BE TAKEN TO ENSURE THIS AREA IS NOT DISTURBED DURING CONSTRUCTION.

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REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
 BROADSTONE BARE COVE ALLIANCE, LLC. C/O  
 ALLIANCE RESIDENTIAL COMPANY  
 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

PROJECT:  
 BROADSTONE BARE COVE  
 230 BEAL STREET  
 HINGHAM, MA

PROJECT NO. 2118-02 DATE: 08-12-2016

SCALE: 1" = 40' DWG. NAME: C2118-02

DESIGNED BY: SJL CHECKED BY: GMQ

PREPARED BY:

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 civil & structural engineering • land surveying  
 environmental consulting • landscape architecture  
 www.allenmajor.com

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 P.O. BOX 2118  
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 TEL: (781) 935-6889  
 FAX: (781) 935-2896

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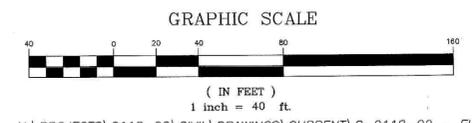
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ELECTRICAL PLAN	C-5B

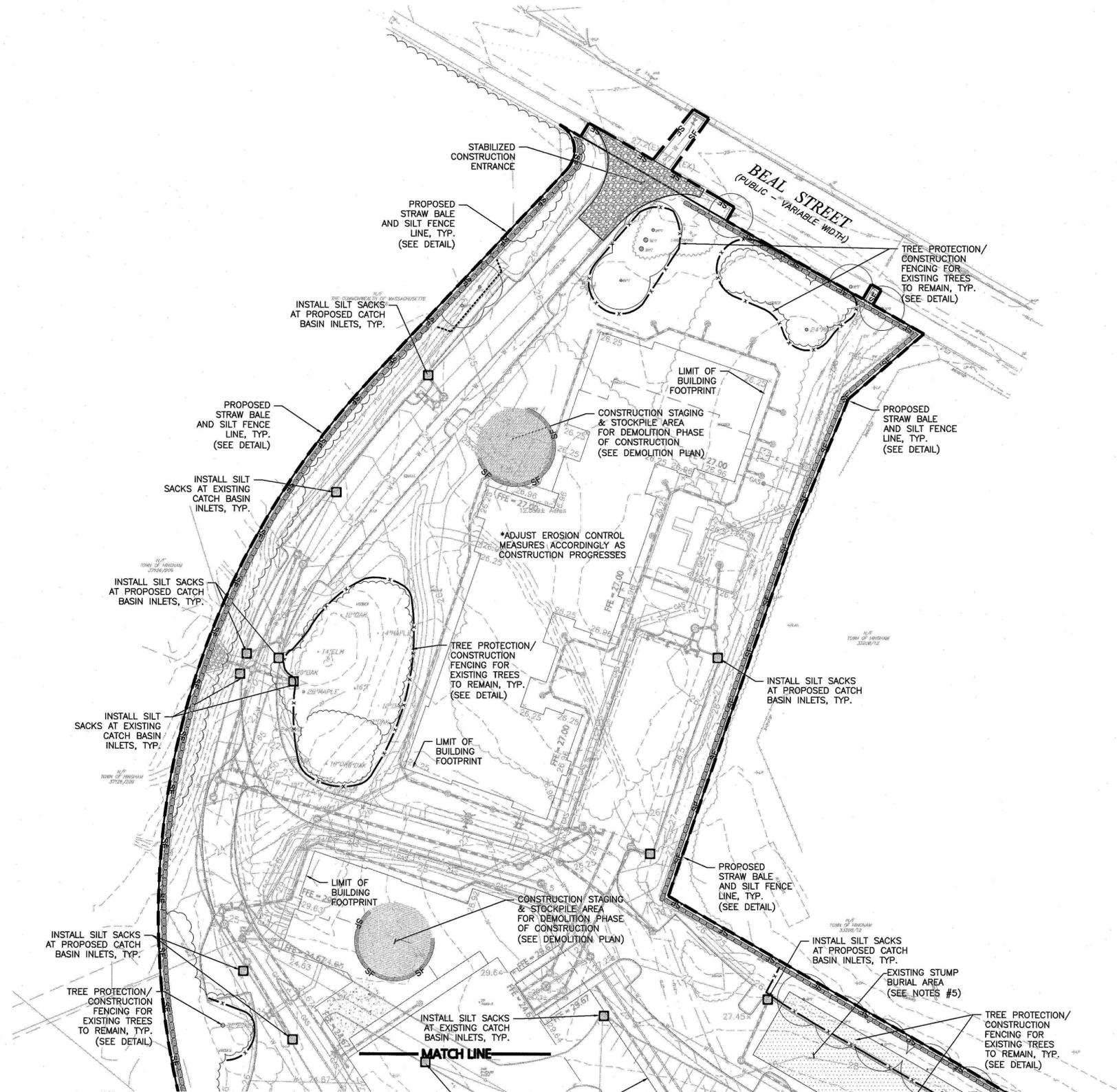
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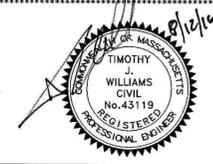
LEGEND:	
SILT FENCE	SF
STRAWBALE & SILT FENCE LINE	
TREE PROTECTION/FENCING	
EROSION CONTROL FABRIC	
SILT SACK	
STABILIZED CONST. ENTRANCE	
STOCKPILE/CONSTRUCTION STAGING AREA	
LIMIT OF WORK LINE	
EXISTING TREES TO REMAIN	
EDGE OF EXISTING TREES TO REMAIN	

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 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

PROJECT:  
 BROADSTONE BARE COVE  
 230 BEAL STREET  
 HINGHAM, MA

PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	1" = 40'	DWG. NAME:	C2118-02
DESIGNED BY:	SIL	CHECKED BY:	CMQ

PREPARED BY:

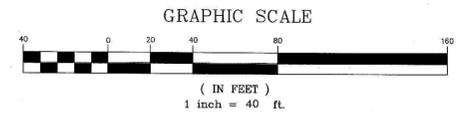
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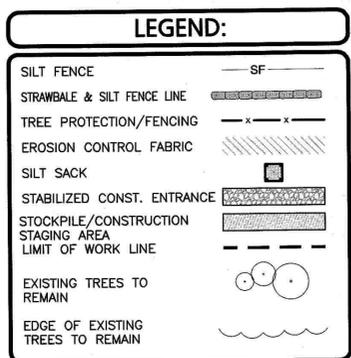
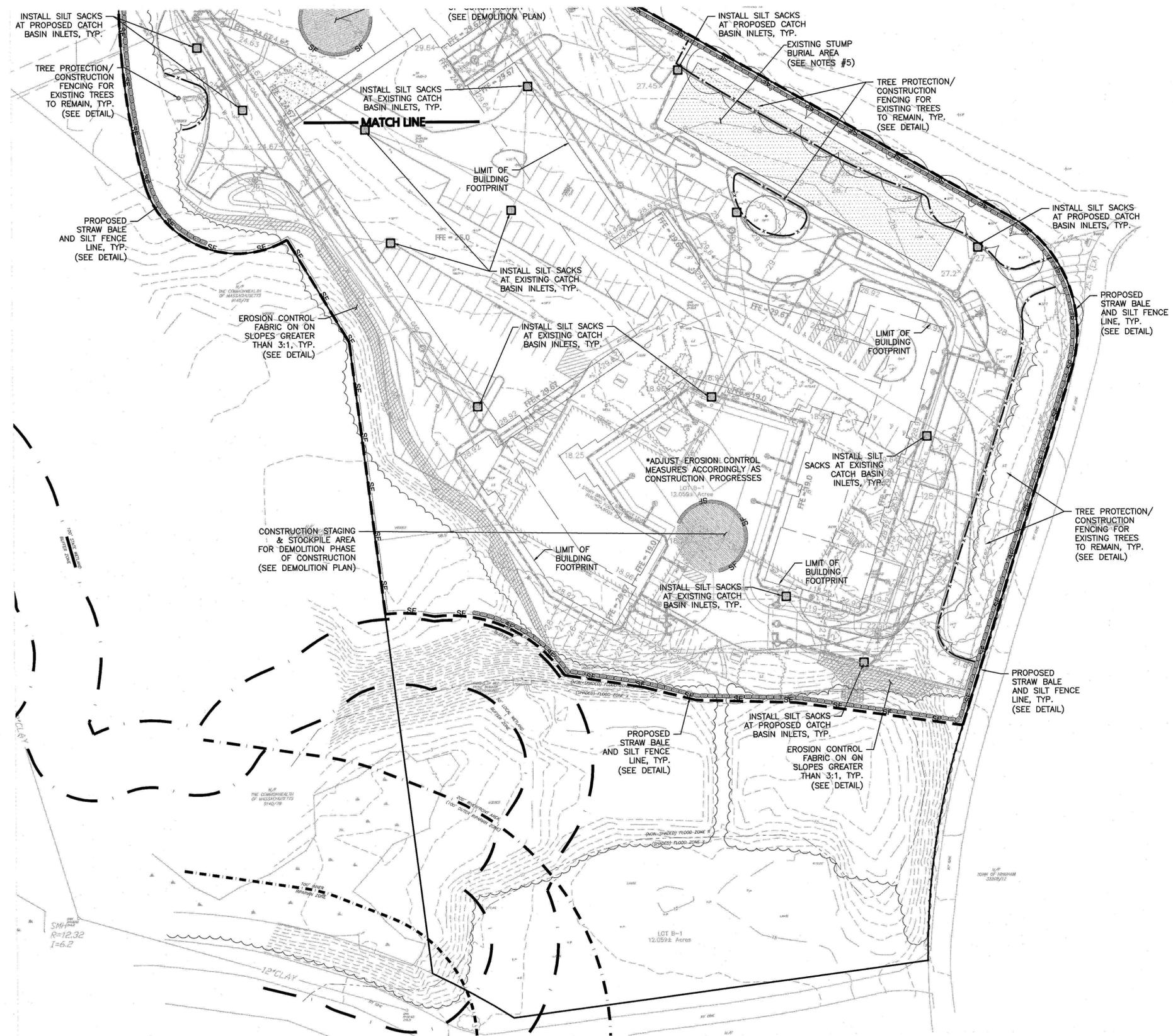
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DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-6A

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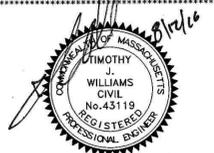
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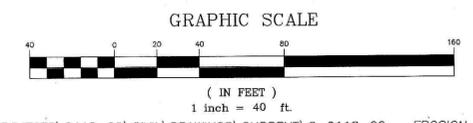
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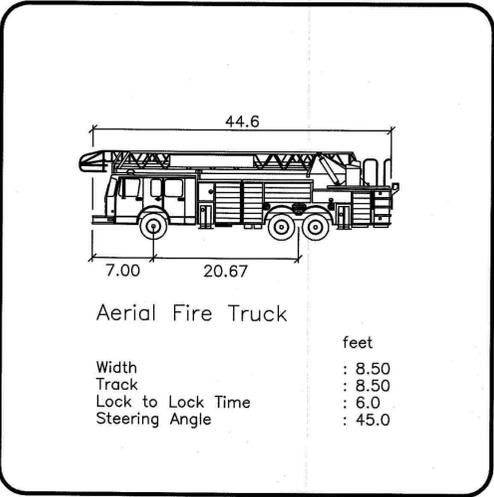
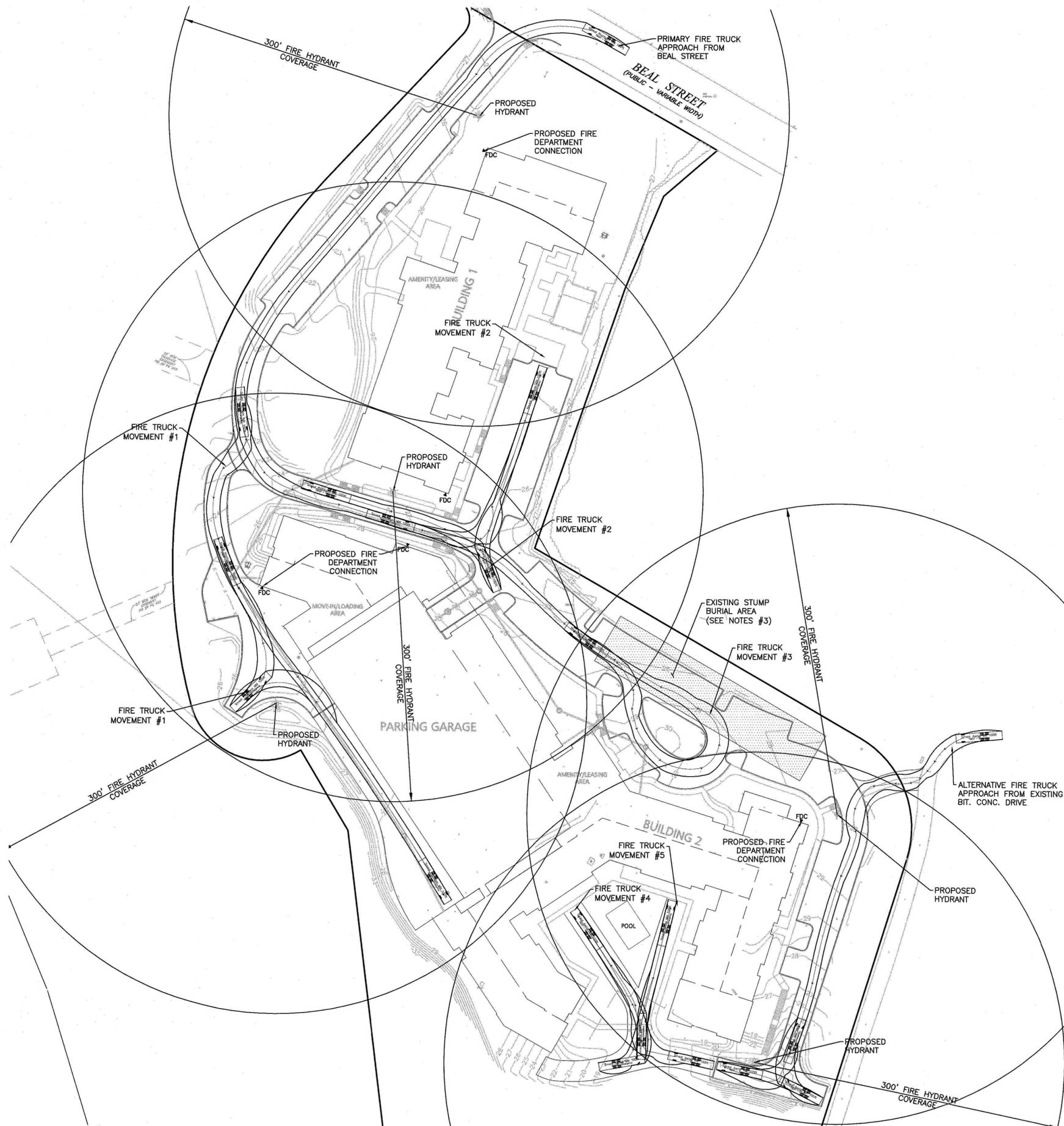
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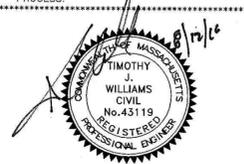
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<b>EROSION CONTROL PLAN</b>	<b>C-6B</b>





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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
 BROADSTONE BARE COVE ALLIANCE, LLC. C/O  
 ALLIANCE RESIDENTIAL COMPANY  
 184 HIGH STREET, SUITE 401  
 BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
**230 BEAL STREET**  
**HINGHAM, MA**

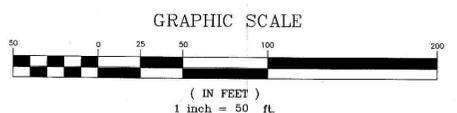
PROJECT NO. 2118-02	DATE: 08-12-2016
SCALE: 1" = 50'	DWG. NAME: C2118-02
DESIGNED BY: SJL	CHECKED BY: CMQ

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
 civil & structural engineering • land surveying  
 environmental consulting • landscape architecture  
 www.allenmajor.com  
 100 COMMERCE WAY  
 P.O. BOX 2118  
 WOBURN MA 01888-0118  
 TEL: (781) 985-6889  
 FAX: (781) 985-2896  
 WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: <b>FIRE TRUCK TURNING PLAN</b>	SHEET NO. <b>C-7</b>
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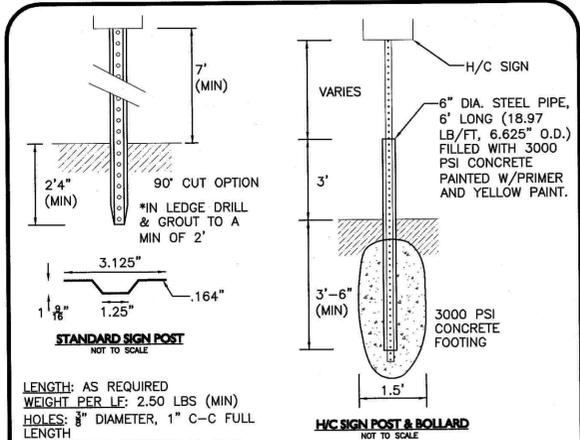


**DIG SAFE**  
 BEFORE YOU DIG  
 CALL 811 OR  
 1-888-DIG-SAFE  
 1-888-344-7233

DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1		30" x 30"	7' - 0"	WHITE ON RED	YES
R7-8		12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R7-8 (MODIFIED)		12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R8-1 (MODIFIED)		12"x18"	7' - 0"	RED ON WHITE	NO
R5-1		30"x30"	7' - 0"	RED ON WHITE	YES
R6-1		36"x12"	7' - 0"	WHITE ARROW ON BLACK	YES

- TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.
- LIMITED TIME PARKING SIGN SHALL BE PRODUCT #W4986 BY SAFETYSIGN.COM, BRIMAR INDUSTRIES, INC. (800) 274-6271 OR APPROVED EQUAL.

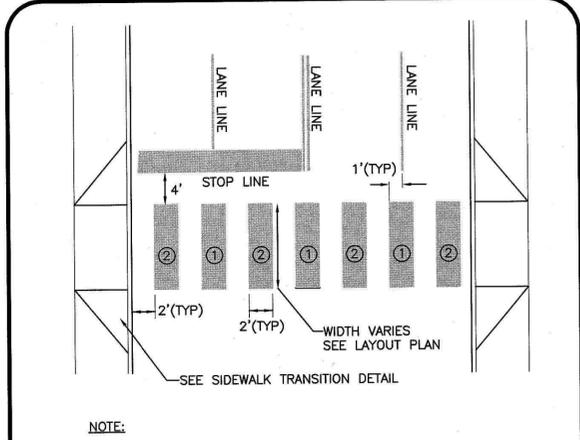
**SIGN TABLE**  
NOT TO SCALE **1**



LENGTH: AS REQUIRED  
WEIGHT PER LF: 2.50 LBS (MIN)  
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH  
STEEL: SHALL CONFORM TO ASTM A-499 OR ASTM A-576  
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY.

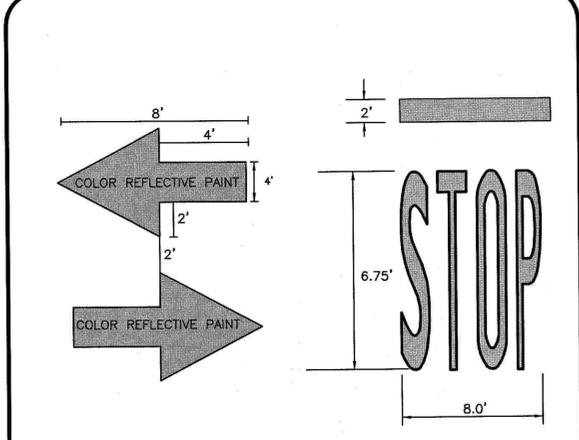
**NOTE:**  
1. STEEL PIPE BOLLARD & CONCRETE FOOTING TO BE USED ON POST MOUNTED SIGNS IN PAVED AREAS.

**SIGN POST DETAIL**  
NOT TO SCALE **2**

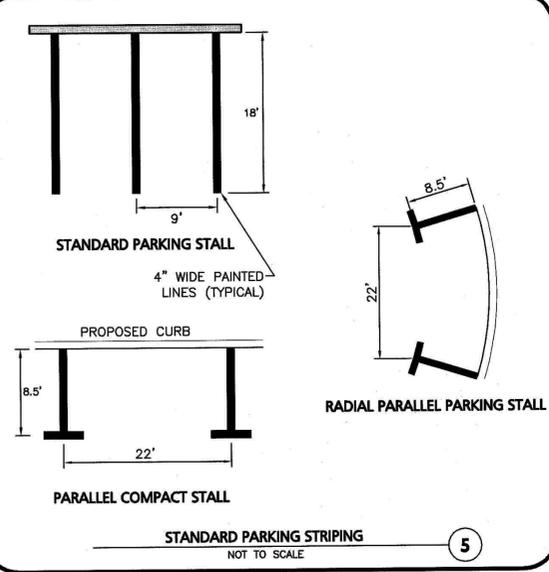


**NOTE:**  
① LANE LINE STRIP: THIS IS LOCATED IN THE LINE WITH EACH LANE LINE AND HALF THE STRIP ON EACH SIDE.  
② MID LINE STRIP: THIS IS LOCATED MIDWAY BETWEEN EACH LANE LINE STRIP.

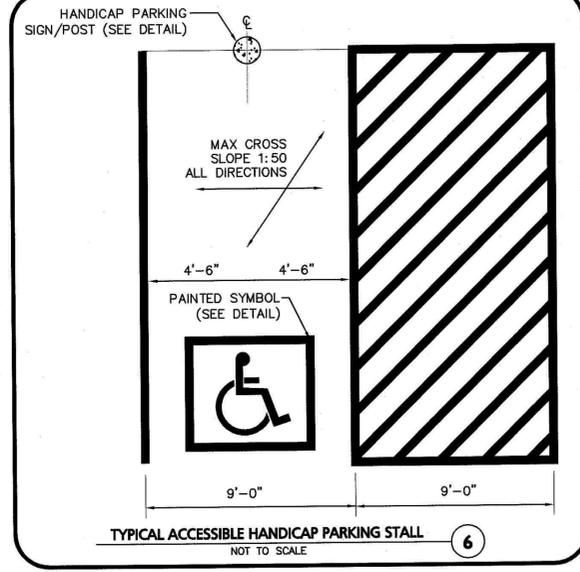
**CROSSWALK STRIPING**  
NOT TO SCALE **3**



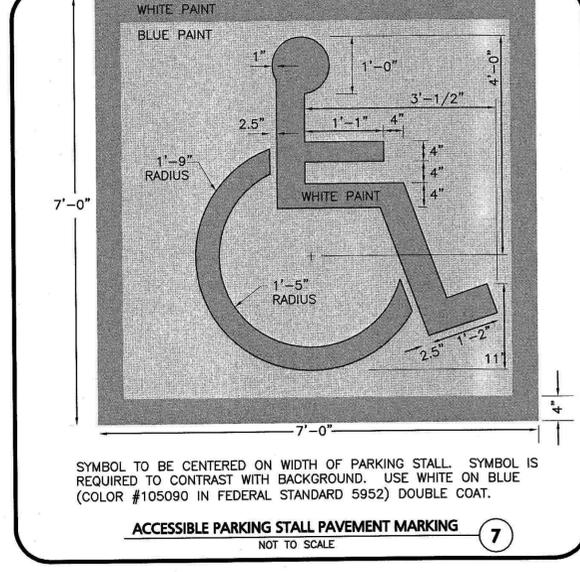
**WHITE THERMOPLASTIC LETTERING/ARROWS**  
NOT TO SCALE **4**



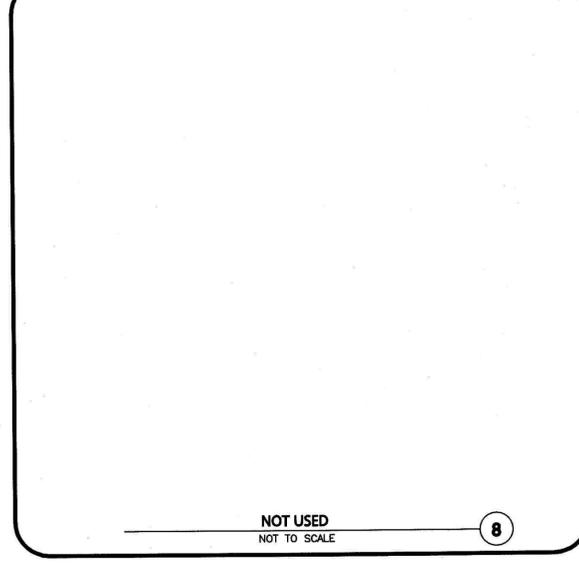
**STANDARD PARKING STRIPING**  
NOT TO SCALE **5**



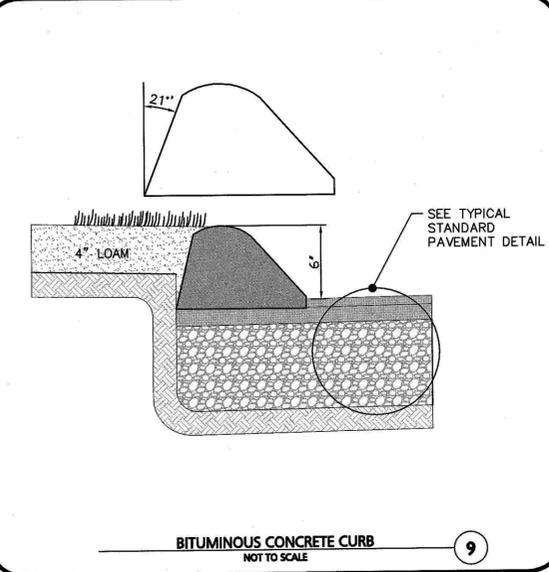
**TYPICAL ACCESSIBLE HANDICAP PARKING STALL**  
NOT TO SCALE **6**



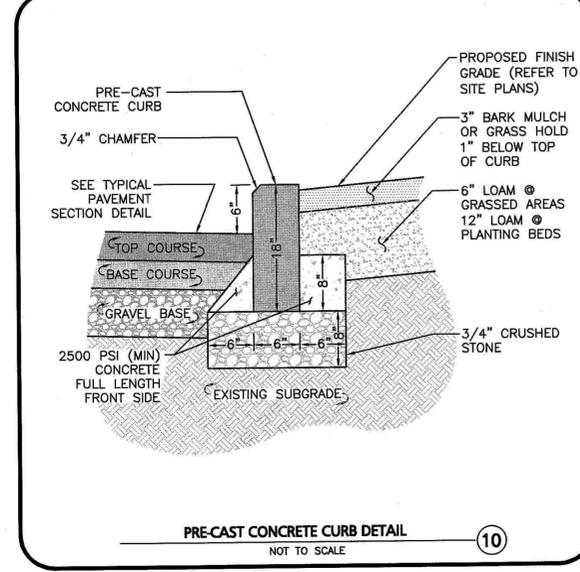
**ACCESSIBLE PARKING STALL PAVEMENT MARKING**  
NOT TO SCALE **7**



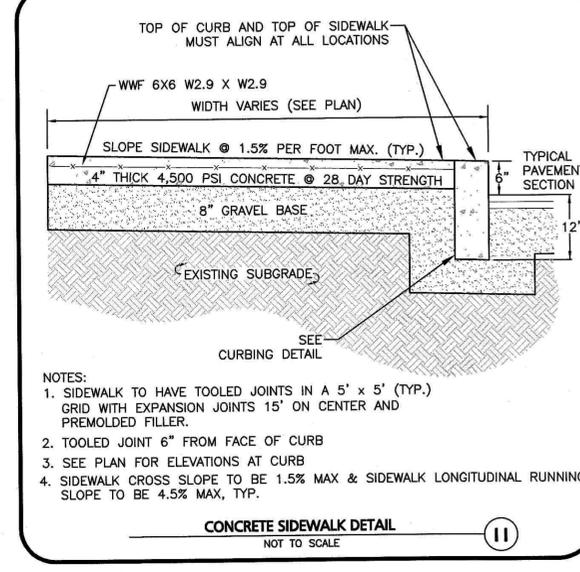
**NOT USED**  
NOT TO SCALE **8**



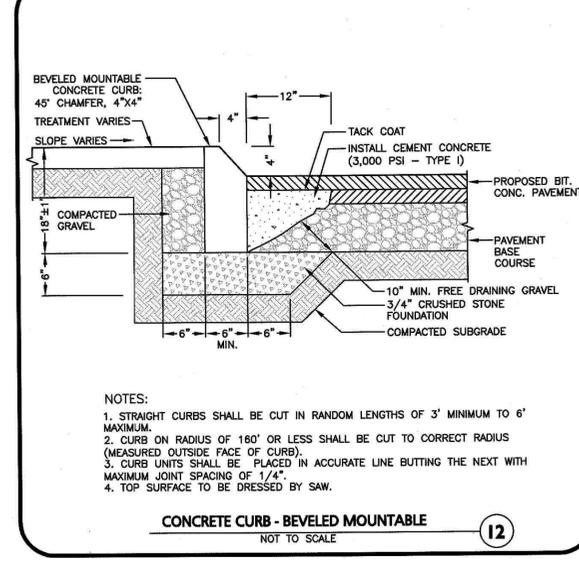
**BITUMINOUS CONCRETE CURB**  
NOT TO SCALE **9**



**PRE-CAST CONCRETE CURB DETAIL**  
NOT TO SCALE **10**



**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE **11**



**CONCRETE CURB - BEVELED MOUNTABLE**  
NOT TO SCALE **12**

TOWN OF HINGHAM LIST OF WAIVERS:

SECTION III-A-1.5 - SCHEDULE OF USES  
WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT.

SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS  
• WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (72'-0").  
• WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1.15).  
• WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET).

SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS  
• WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.  
• WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).

SECTION IV-B-8  
• WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.

SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS  
• WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300).

SECTION IV-E-19 - RESIDENTIAL MULTI-UNIT DEVELOPMENT  
• WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE).

SECTION IV-F-10  
• WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.

SECTION IV-F-16  
• WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.

SECTION IV-F-17  
• WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.

SECTION IV-F-18  
• WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.

SECTION IV-F-21  
• WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).

SECTION IV-F-25  
• WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.

SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS  
• WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).

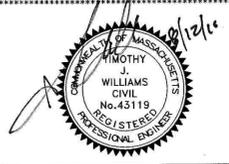
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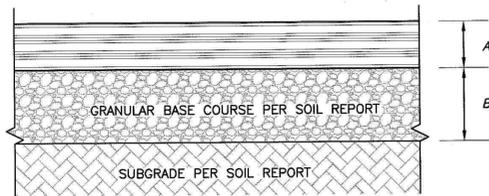
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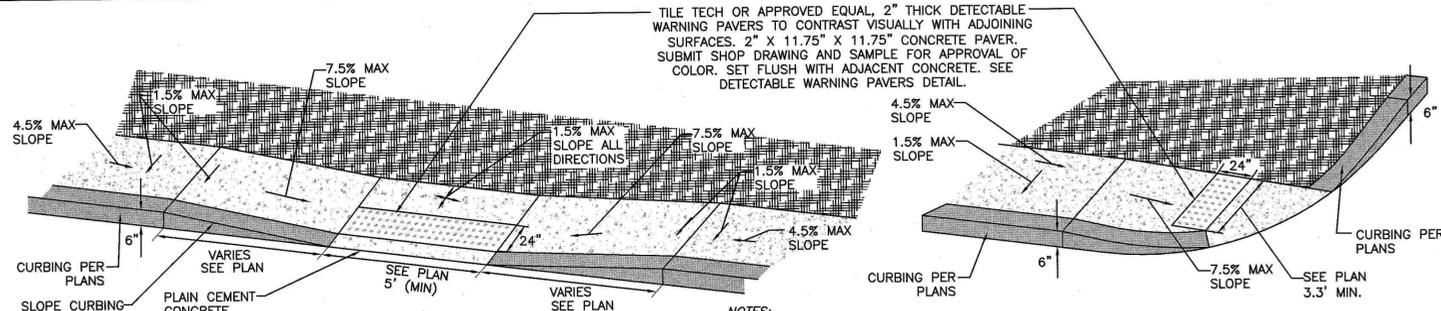
DRAWING TITLE:	SHEET No.
DETAILS	D-1



- NOTES:**
- SURFACE COURSE, BASE, AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
  - SUBGRADE SHALL BE COMPACTED TO 95% OF PROCTOR.
  - COORDINATE PAVEMENT DETAIL WITH GOETECH & ENGINEER.

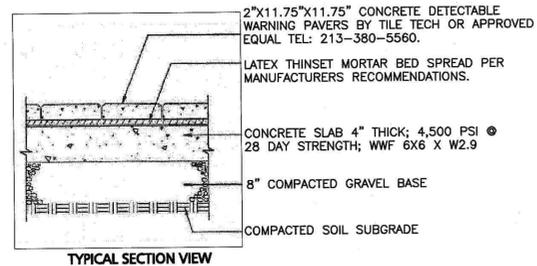
**STANDARD DUTY PAVING**  
 A = 1.5" ASPHALT CONCRETE - SURFACE COURSE (M3.11.03, TABLE A, TOP COURSE)  
 1.5" ASPHALT CONCRETE - BINDER COURSE (M3.11.03, TABLE A, BINDER COURSE)  
 B = 12" GRANULAR BASE COARSE - M1.03.1, PROCESSED GRAVEL FOR SUBBASE

**STANDARD DUTY BITUMINOUS ROADWAY**  
 NOT TO SCALE



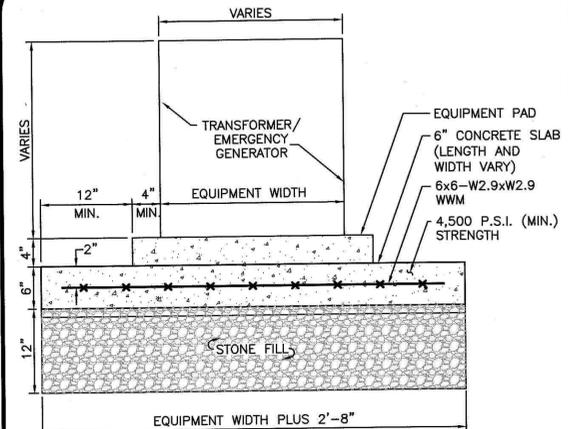
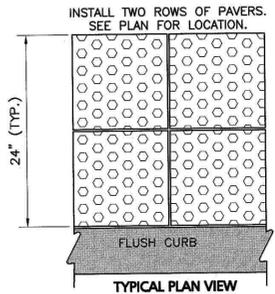
- NOTES:**
- THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
  - RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
  - IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
  - THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

**HANDICAP CURB CUT & CURB TRANSITION**  
 NOT TO SCALE



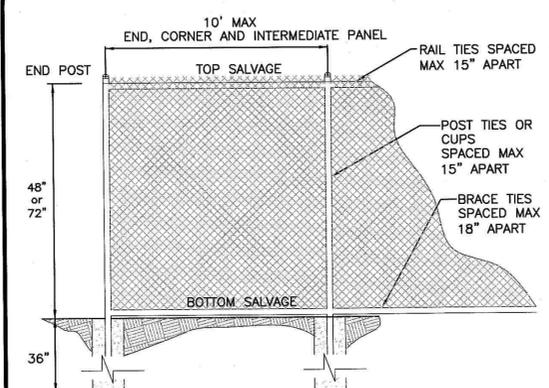
- NOTES:**
- CONCRETE SLAB SHALL BE SLOPED 1.5% CROSS PITCH MAX TO PROVIDE COMPLETE SURFACE DRAINAGE. SEE GRADING PLAN & HANDICAP CURB CUT / CURB TRANSITION DETAIL.
  - SLAB TO HAVE STEEL TROWEL AND FINE BROOM FINISH. DO NOT USE CURING COMPOUNDS. CONTRACTOR TO ADD EXPANSION JOINTS AND PREMOLDED FILLER AT EDGE OF TILES AND ADJACENT MATERIAL.
  - SET TILES FLUSH WITH ADJACENT MATERIALS.
  - SUBMIT SHOP DRAWINGS OF TILES AND SAMPLE FOR APPROVAL OF COLOR TO OWNER / ARCH.
  - INSTALL DETECTABLE WARNING PAVERS PER MANUFACTURER'S RECOMMENDATIONS.

**DETECTABLE WARNING PAVERS**  
 NOT TO SCALE



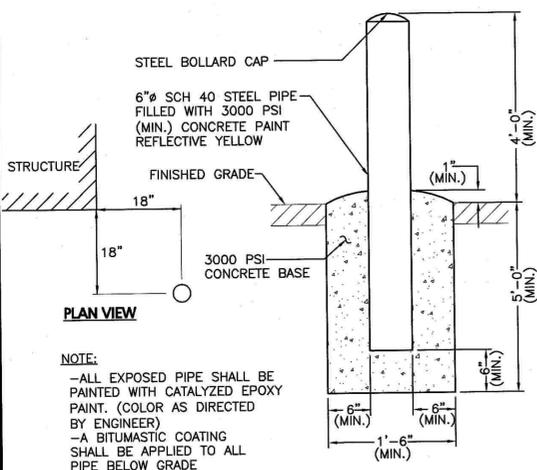
- NOTE:**  
 REFERENCE MECHANICAL ENGINEER'S PLANS FOR ANY PIPE, CONDUIT AND GROUND WIRE LOCATIONS

**TRANSFORMER/GENERATOR PAD DETAIL**  
 NOT TO SCALE



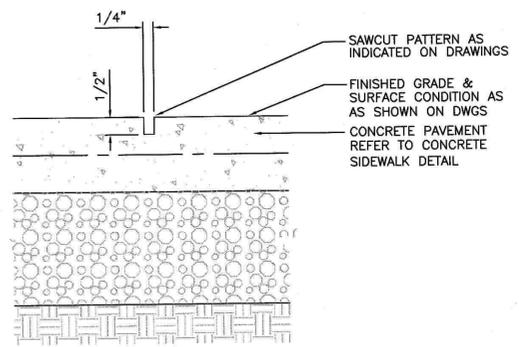
- NOTES:**
- AT FENCING AGAINST WALLS, ALL POSTS TO BE SET USING "SLEEVE-IT" SEE DETAIL FOR FENCE POST AT MODULAR BLOCK WALL.
  - ALL FENCE MATERIALS TO BE BLACK VINYL COATED.

**BLACK VINYL COATED CHAIN LINK FENCE**  
 NOT TO SCALE

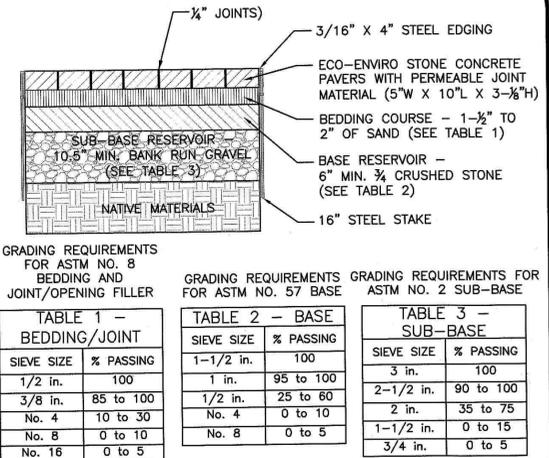


- NOTE:**
- ALL EXPOSED PIPE SHALL BE PAINTED WITH CATALYZED EPOXY PAINT. (COLOR AS DIRECTED BY ENGINEER)
  - A BITUMASTIC COATING SHALL BE APPLIED TO ALL PIPE BELOW GRADE

**FIXED BOLLARD**  
 NOT TO SCALE



**TYPICAL CONCRETE SAWCUT JOINT CONTROL**  
 NOT TO SCALE



**GRADING REQUIREMENTS FOR ASTM NO. 8 BEDDING AND JOINT/OPENING FILLER**

TABLE 1 - BEDDING / JOINT	
SIEVE SIZE	% PASSING
1/2 in.	100
3/8 in.	85 to 100
No. 4	10 to 30
No. 8	0 to 10
No. 16	0 to 5

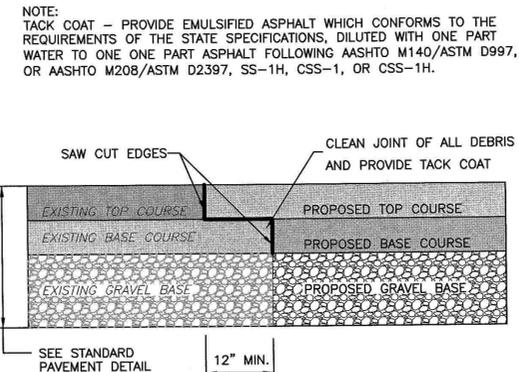
**GRADING REQUIREMENTS FOR ASTM NO. 57 BASE**

TABLE 2 - BASE	
SIEVE SIZE	% PASSING
1-1/2 in.	100
1 in.	95 to 100
1/2 in.	25 to 60
No. 4	0 to 10
No. 8	0 to 5

**GRADING REQUIREMENTS FOR ASTM NO. 2 SUB-BASE**

TABLE 3 - SUB-BASE	
SIEVE SIZE	% PASSING
3 in.	100
2-1/2 in.	90 to 100
2 in.	35 to 75
1-1/2 in.	0 to 15
3/4 in.	0 to 5

**PRECAST CONCRETE PAVER**  
 NOT TO SCALE

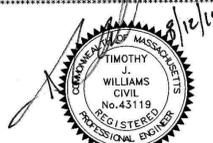


SEE STANDARD PAVEMENT DETAIL 12" MIN.

**PAVEMENT KEY CUT DETAIL**  
 NOT TO SCALE

**TOWN OF HINGHAM LIST OF WAIVERS:**

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- SECTION IV-E-5E
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- SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS
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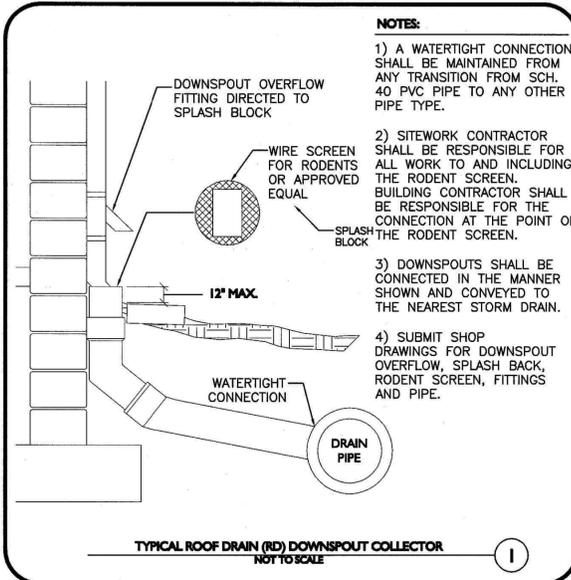
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PREPARED BY:

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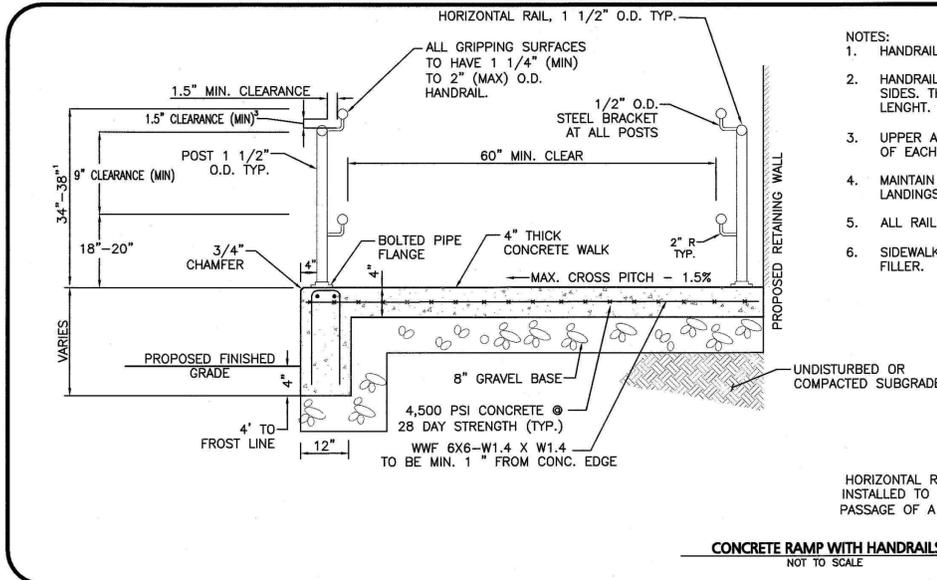
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DRAWING TITLE: DETAILS SHEET No. D-2



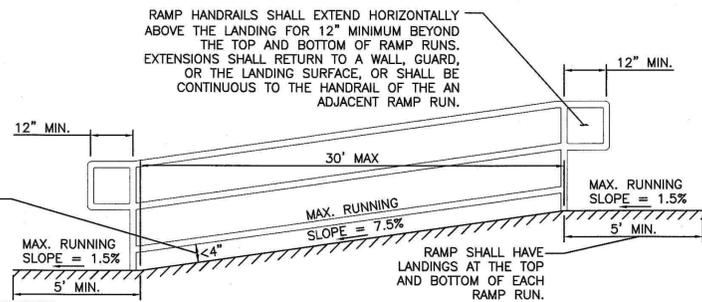
- NOTES:**
- 1) A WATERTIGHT CONNECTION SHALL BE MAINTAINED FROM ANY TRANSITION FROM SCH. 40 PVC PIPE TO ANY OTHER PIPE TYPE.
  - 2) SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.
  - 3) DOWNSPOUTS SHALL BE CONNECTED IN THE MANNER SHOWN AND CONVEYED TO THE NEAREST STORM DRAIN.
  - 4) SUBMIT SHOP DRAWINGS FOR DOWNSPOUT OVERFLOW, SPLASH BACK, RODENT SCREEN, FITTINGS AND PIPE.

TYPICAL ROOF DRAIN (RD) DOWNSPOUT COLLECTOR  
NOT TO SCALE



- NOTES:**
1. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS AND RAMP SURFACES.
  2. HANDRAIL SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20% OF THEIR LENGTH.
  3. UPPER AND LOWER HANDRAIL ENDS TO JOIN SMOOTHLY AT ENDS WITH 6\"/>

CONCRETE RAMP WITH HANDRAILS  
NOT TO SCALE



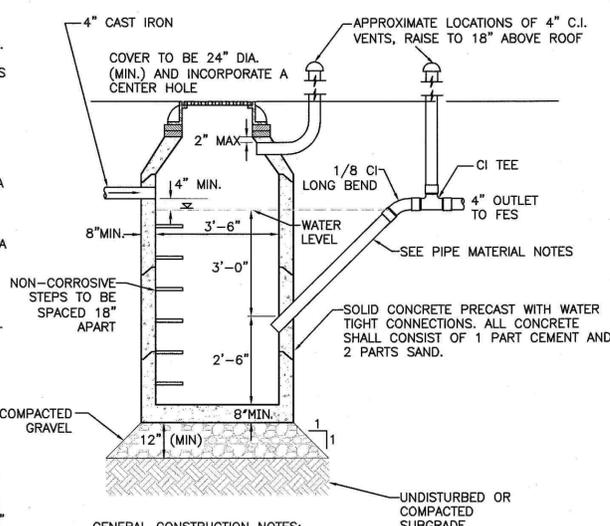
RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12\"/>

**PIPE MATERIAL NOTES:**

1. NO-HUB CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS.
2. SERVICE WEIGHT CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
3. EXTRA HEAVY CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.

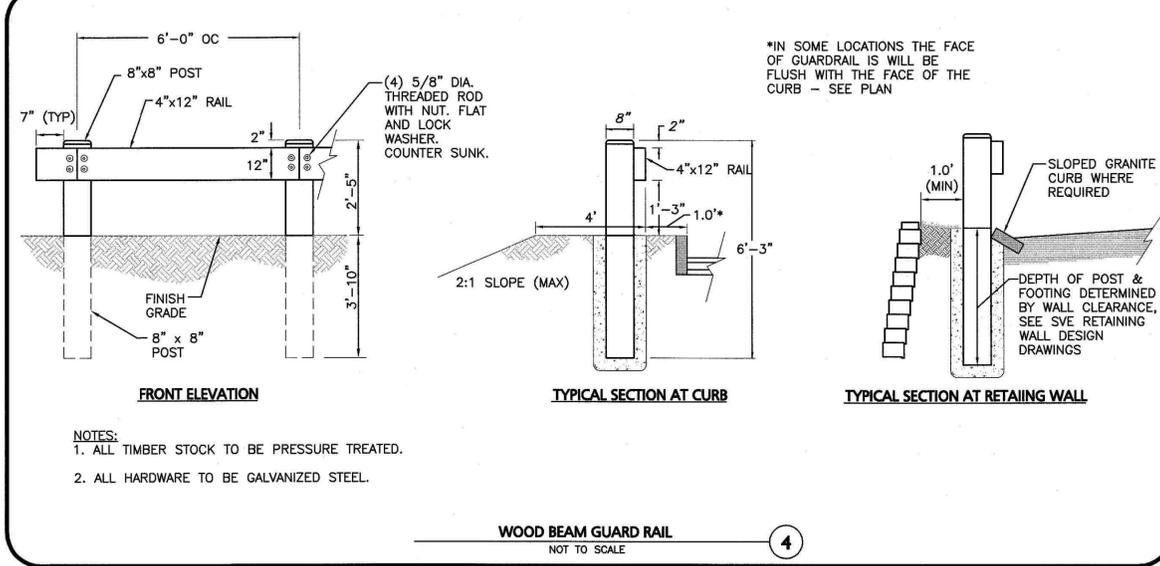
**MWRA INSPECTION NOTES:**

1. AT LEAST 10 DAYS PRIOR TO INSTALLATION CONTRACTOR SHALL SUBMIT A "NOTIFICATION OF PROPOSED GAS/OIL SEPARATOR INSTALLATION" TO THE MWRA PER THE MASSACHUSETTS UNIFORM PLUMBING CODE AND THE MWRA'S SEWER USE REGULATIONS. FOR ADDITIONAL INFORMATION OR TO REQUEST AN INSPECTION PLEASE CONTACT THOMAS J. COFFEY, JR. (MWRA SOURCE COORDINATOR) @ (617)-305-5624.
2. PLUMBING SHALL BE INSTALLED, BUT STRUCTURE SHALL NOT BE BACKFILLED PRIOR TO MWRA INSPECTION.
3. MORTAR THE JOINTS (NO RUBBER BOOTS ALLOWED - HYDRAULIC CEMENT ONLY).
4. THE STRUCTURES SEAM MUST BE COMPLETELY VISIBLE AROUND THE ENTIRE STRUCTURE FOR INSPECTION. ADDITIONALLY THE AREA ONE FOOT BELOW THE OUTLET PIPE MUST ALSO BE VISIBLE. FOR INSPECTION.
5. OUTLET LINE SHALL BE PLUGGED (ON THE OUTSIDE) WHERE IT CAN BE REMOVED ONCE IT IS CONFIRMED THAT THE STRUCTURE HAS NO LEAKS.
6. THE CONTRACTOR SHALL FILL THE STRUCTURE WITH WATER AND CONFIRM THAT THERE ARE NO LEAKS PRIOR TO SCHEDULING THE MWRA INSPECTION. THE CONTRACTOR SHOULD NOTE THAT THE MWRA INSPECTOR WILL BE SPECIFICALLY LOOKING AT THE OUTLET PIPE "45 DEGREE ANGLE" AND UNDERSTANDS THAT IT IS PARTICULARLY DIFFICULT TO SEAL. SO THE CONTRACTOR SHOULD BE CAREFUL WHEN MORTARING THE JOINT. NOTE THE INSPECTOR WILL WANT TO INSPECT THE CONNECTION WITH THE TANK 1\"/>
- 7. ONCE ON SITE, THE INSPECTOR WILL FIRST INSPECT THE STRUCTURE COMPLETELY FULL TO INSURE IT HAS NO LEAKS. THE INSPECTOR WILL THEN REQUIRE THAT THE OUTLET PIPE PLUG BE REMOVED TO OBSERVE THE WATER LEVEL. THE WATER LEVEL MUST BE OBSERVED AT LEAST 4\"/>
- 8. THE CONTRACTOR MUST HAVE A 2\"/>
- 9. THE OUTLET PIPE MUST NOT STICK INTO THE STRUCTURE CHAMBER ANY MORE THAN ILLUSTRATED.



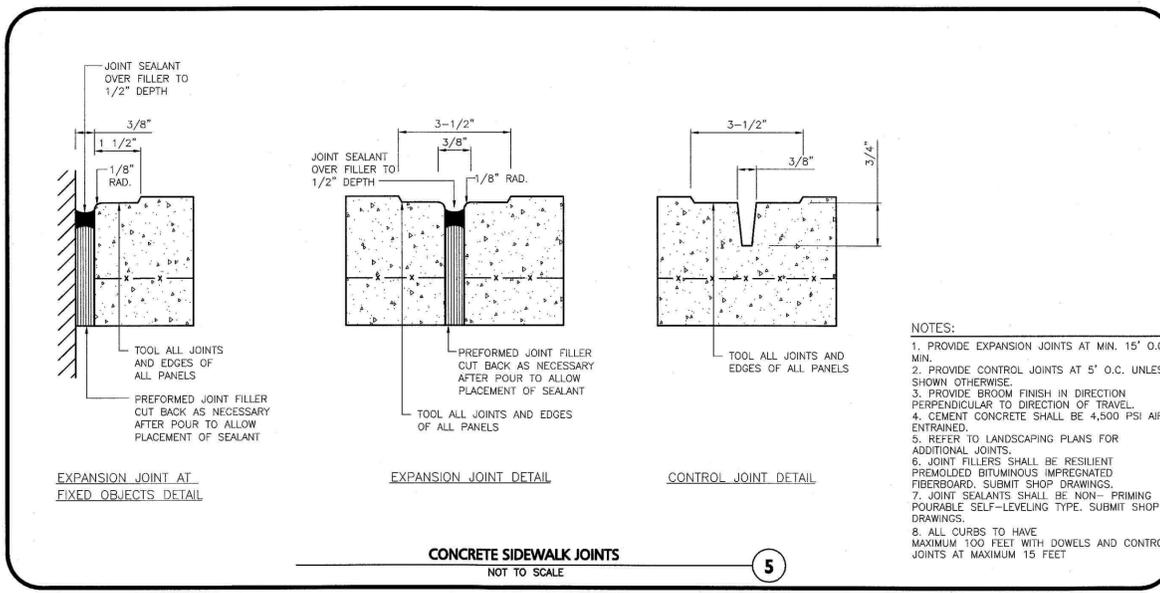
- GENERAL CONSTRUCTION NOTES:**
1. SEPARATOR TO BE LOCATED OUTSIDE WHERE POSSIBLE, WHEN LOCATED OUTSIDE, MANHOLE SHALL HAVE A CENTER HOLE.
  2. SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING.
  3. OUTLET TO BE BELOW FROST LINE.
  4. SEPARATOR MUST BE FILLED WITH CLEAN WATER AND LEAK TESTED BEFORE BEING INTRODUCED INTO SERVICE.
  5. OIL AND GAS TO BE REMOVED BEFORE CLEANING AND SHALL NOT BE DISCHARGED TO THE SEWER THROUGH ANY FIXTURES.
  6. INLET SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE

GAS/OIL SEPARATOR  
NOT TO SCALE



- NOTES:**
1. ALL TIMBER STOCK TO BE PRESSURE TREATED.
  2. ALL HARDWARE TO BE GALVANIZED STEEL.

WOOD BEAM GUARD RAIL  
NOT TO SCALE

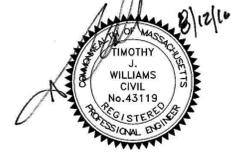


- NOTES:**
1. PROVIDE EXPANSION JOINTS AT MIN. 15' O.C. MIN.
  2. PROVIDE CONTROL JOINTS AT 5' O.C. UNLESS SHOWN OTHERWISE.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO DIRECTION OF TRAVEL.
  4. CEMENT CONCRETE SHALL BE 4,500 PSI AIR ENTRAINED.
  5. REFER TO LANDSCAPING PLANS FOR ADDITIONAL JOINTS.
  6. JOINT FILLERS SHALL BE RESILIENT PREMOULDED BITUMINOUS IMPREGNATED FIBERBOARD. SUBMIT SHOP DRAWINGS.
  7. JOINT SEALANTS SHALL BE NON-PRIMING POURABLE SELF-LEVELING TYPE. SUBMIT SHOP DRAWINGS.
  8. ALL CURBS TO HAVE MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAXIMUM 15 FEET

CONCRETE SIDEWALK JOINTS  
NOT TO SCALE

**TOWN OF HINGHAM LIST OF WAIVERS:**

- SECTION III-A-1.5 - SCHEDULE OF USES
  - WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT.
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (72'-8").
  - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1:5).
  - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (61.0 FEET).
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
  - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).
- SECTION IV-B-8
  - WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.
- SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
  - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300).
- SECTION IV-F-19 - RESIDENTIAL MULTI-UNIT DEVELOPMENT
  - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE).
- SECTION IV-F-10
  - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
- SECTION IV-F-11
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-F-12
  - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
- SECTION IV-F-16
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-F-11
  - WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).
- SECTION IV-E-5E
  - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
- SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS
  - WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).
- SECTION V-C-1A - EARTH REMOVAL REGULATIONS
  - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAYS AND COMMON LAND
  - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-34
  - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
  - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT.
- ARTICLE 22-8
  - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

PROJECT:  
BROADSTONE BARE COVE  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO. 2118-02 DATE: 08-12-2016

SCALE: AS NOTED DWG. NAME: C2118-02

DESIGNED BY: SJL CHECKED BY: CMQ

PREPARED BY:



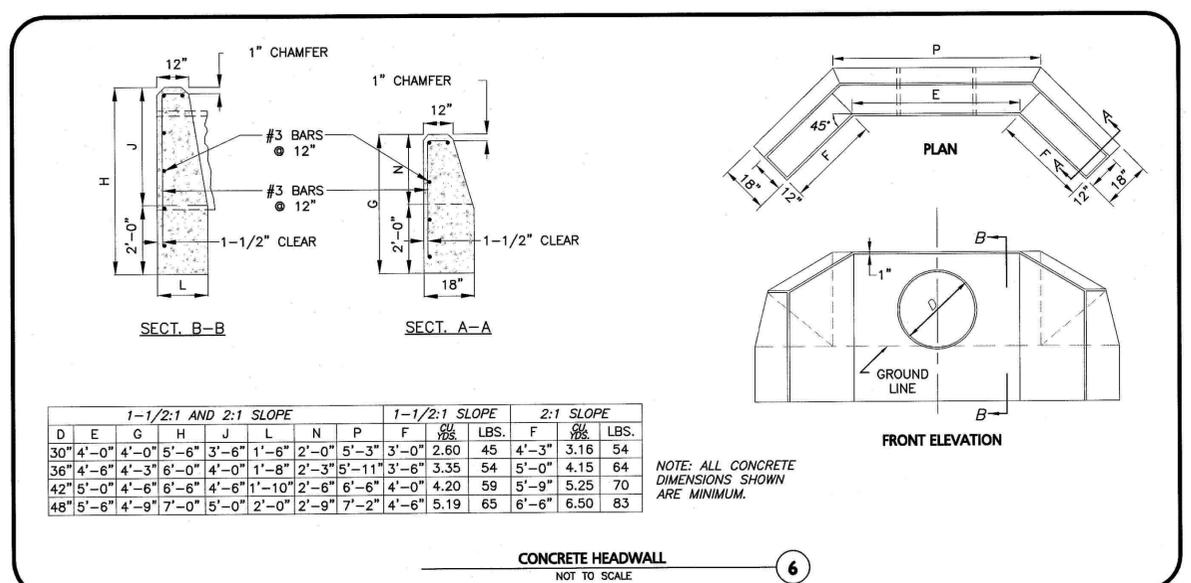
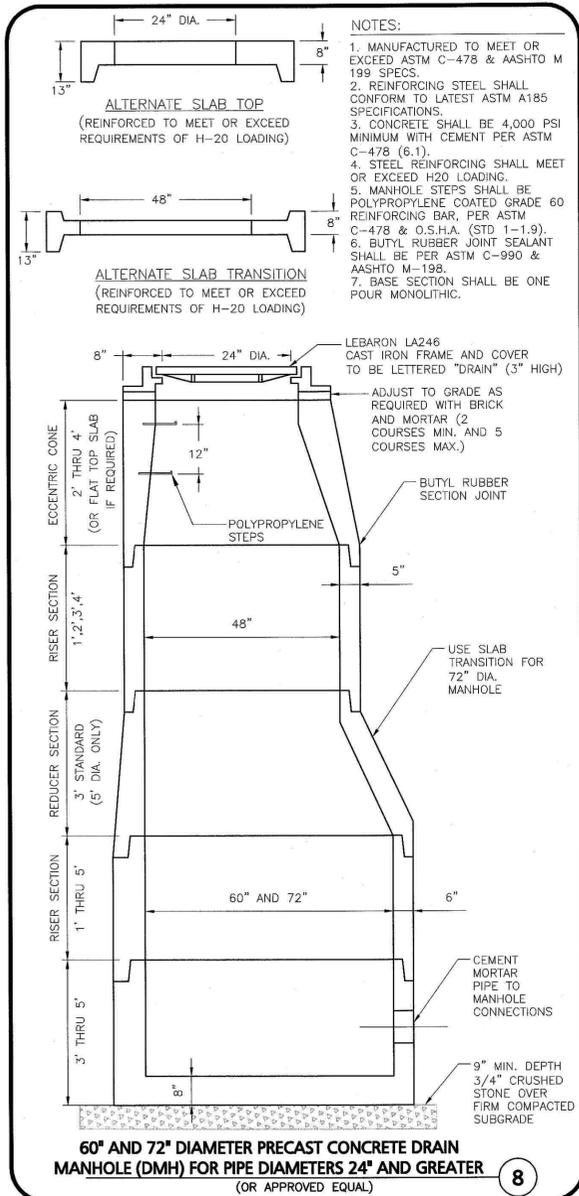
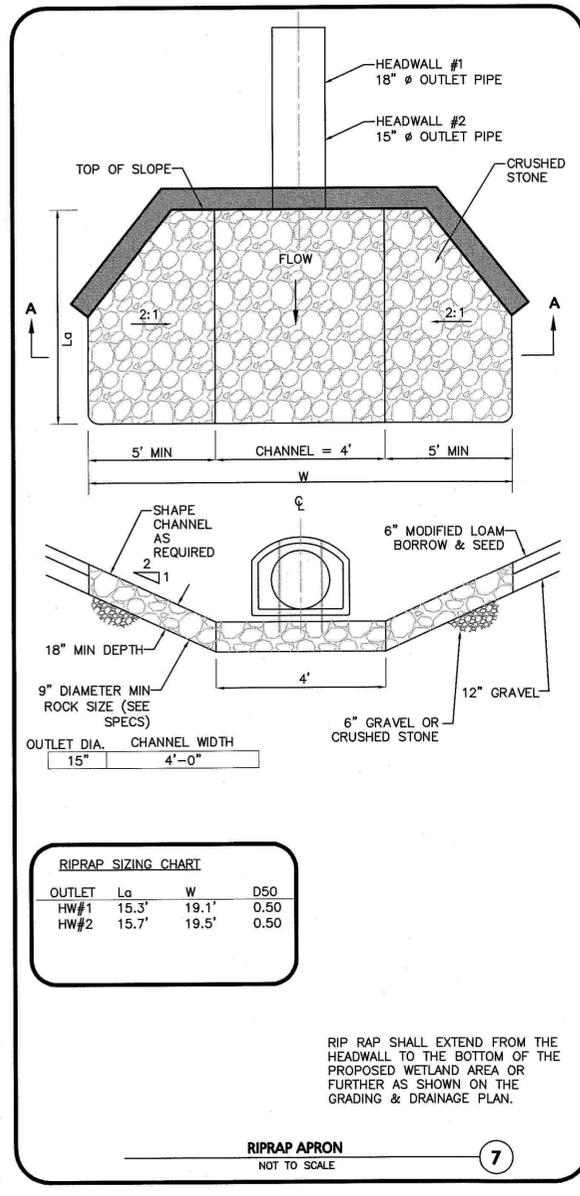
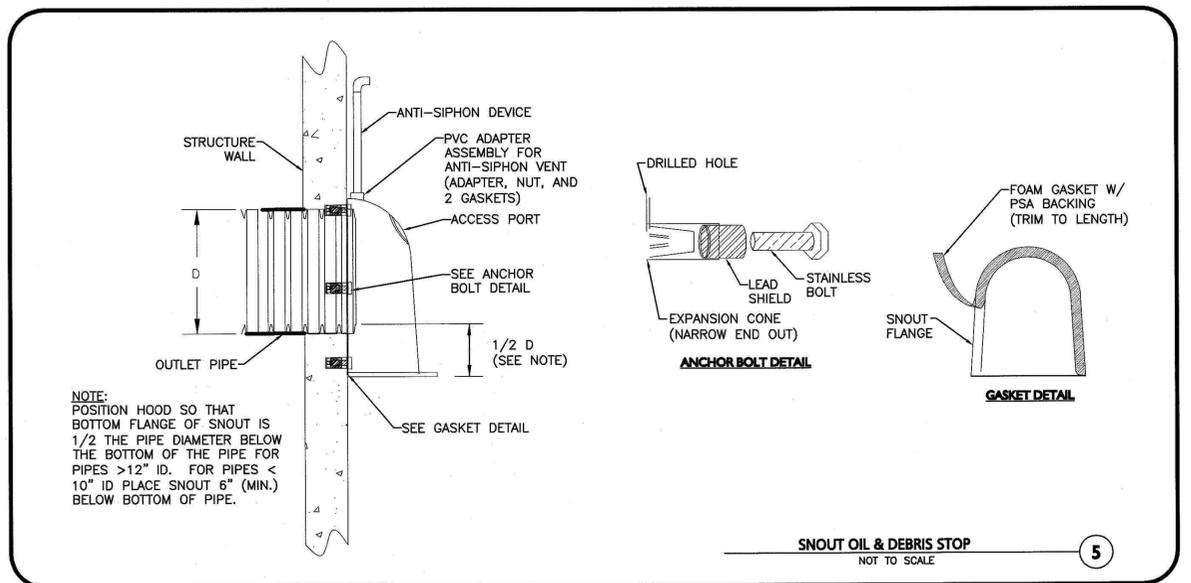
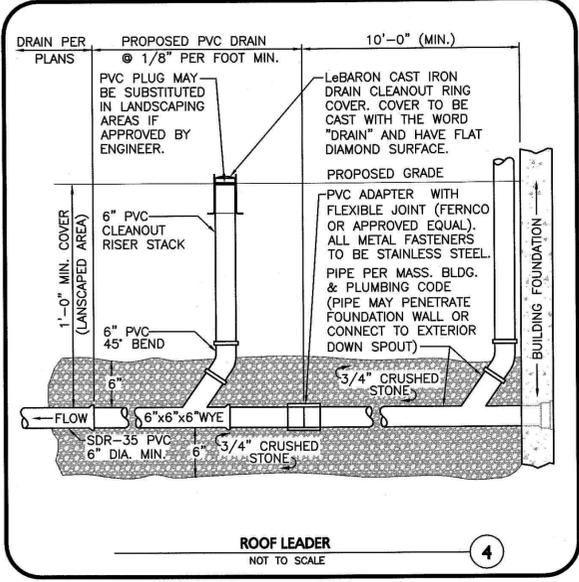
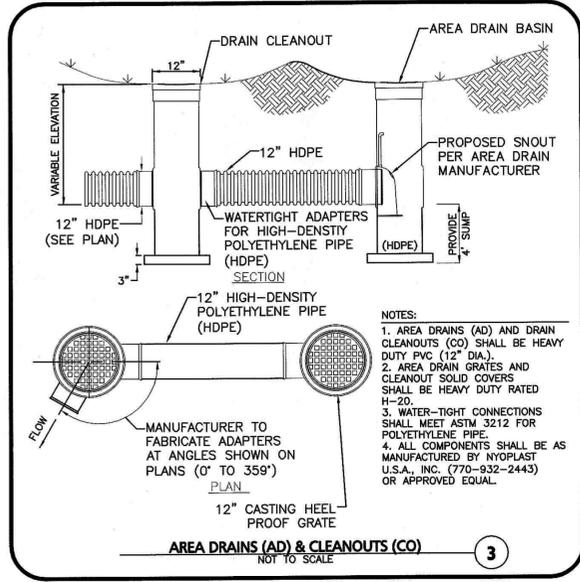
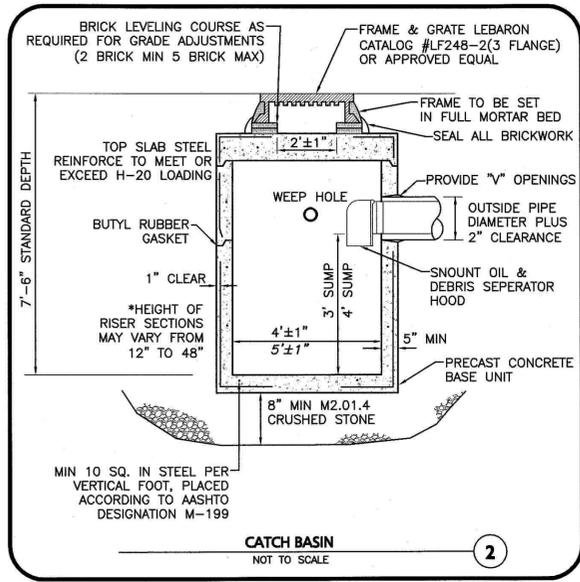
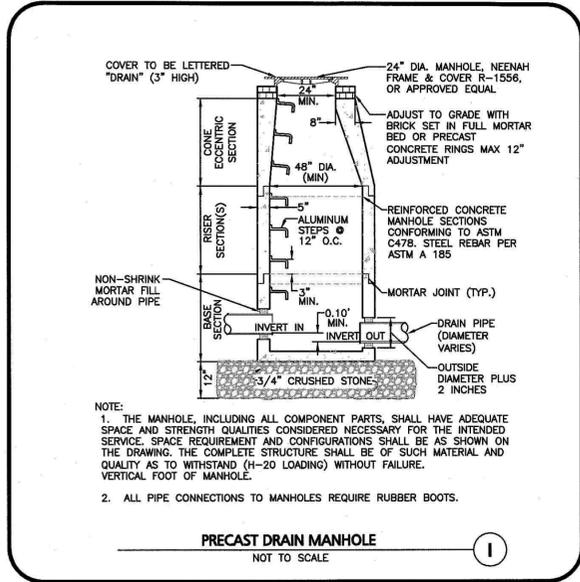
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TOWN OF HINGHAM LIST OF WAIVERS.

SECTION III-A-1.5 - SCHEDULE OF USES  
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WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET).

SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS  
WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.  
WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).

SECTION IV-B-3  
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SECTION IV-C-1 - GENERAL INTENSITY PROVISIONS  
WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300).

SECTION IV-E-12 - RESIDENTIAL MULTI-UNIT DEVELOPMENT  
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SECTION IV-E-1F  
WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.

SECTION IV-E-1G  
WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.

SECTION IV-E-1I  
WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).

SECTION IV-E-5E  
WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.

SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS  
WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).

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SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.

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ARTICLE 10-3A  
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REV	DATE	DESCRIPTION

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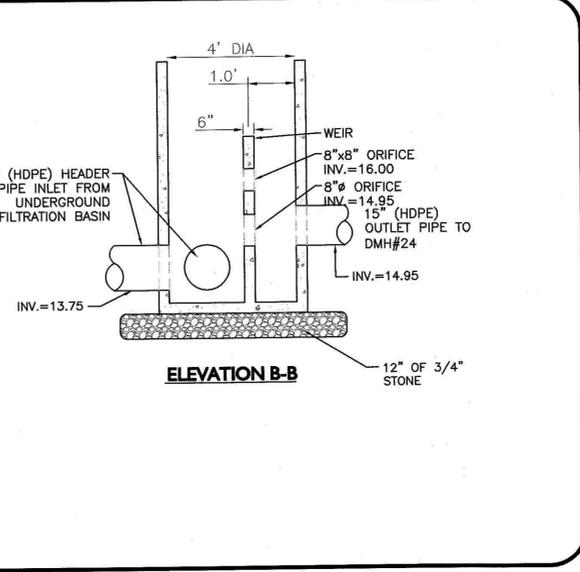
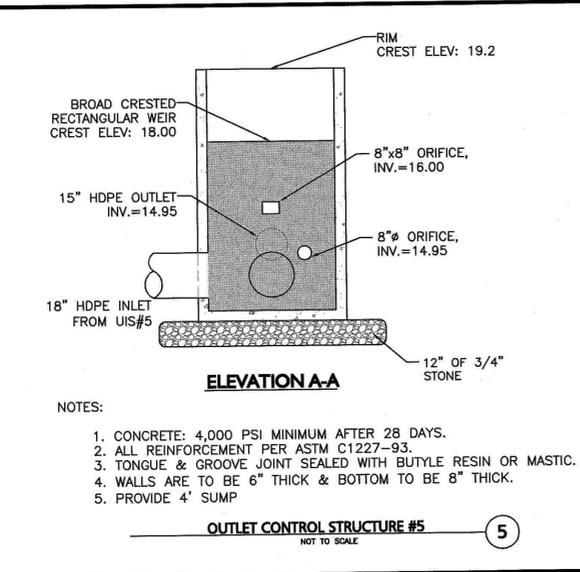
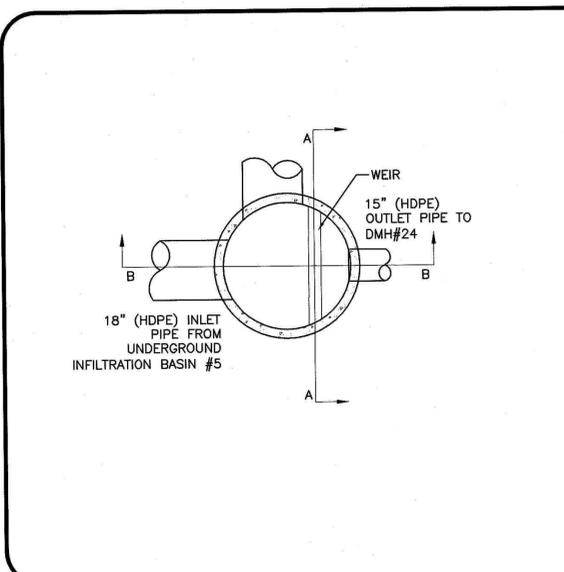
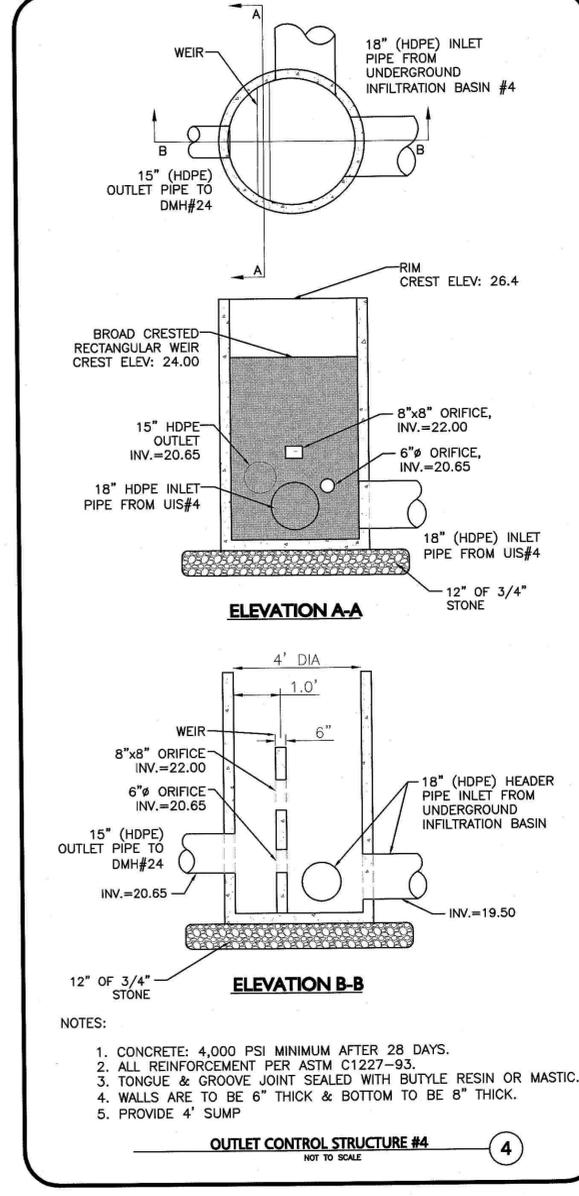
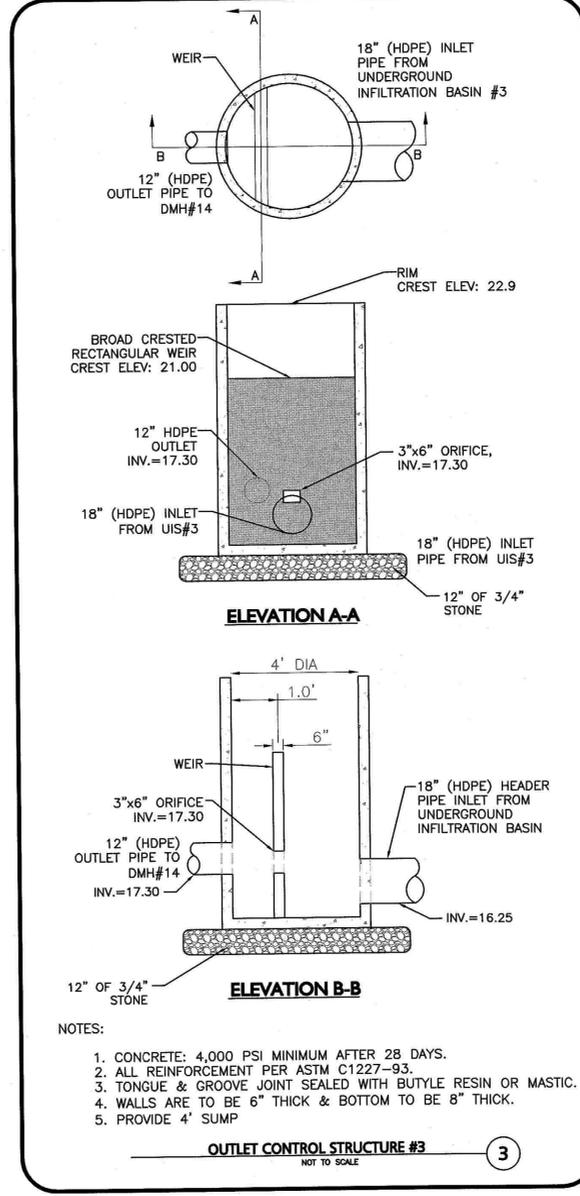
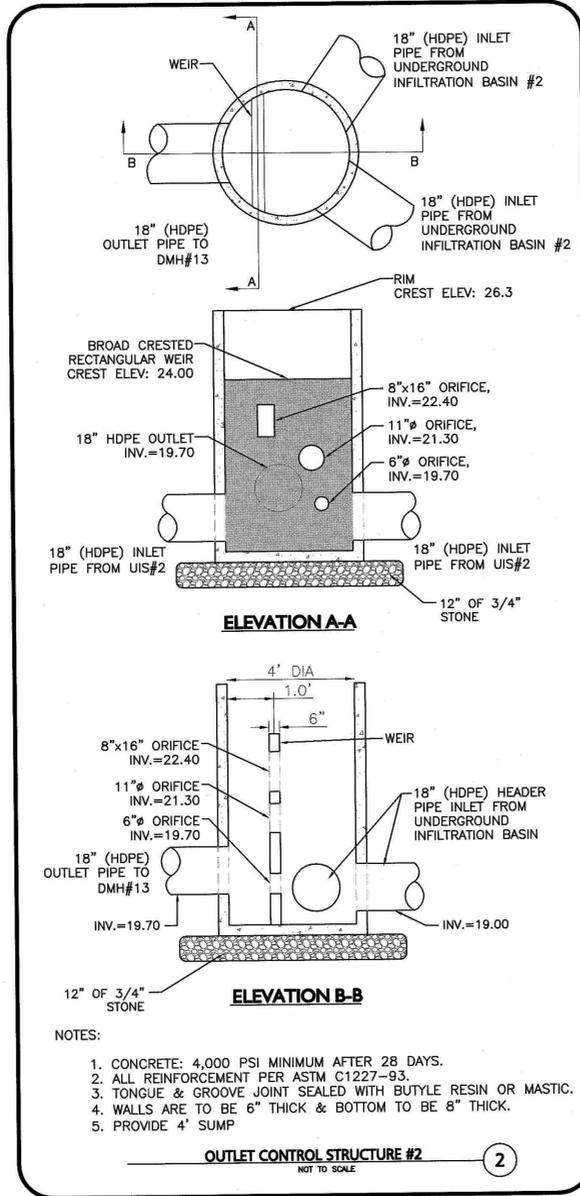
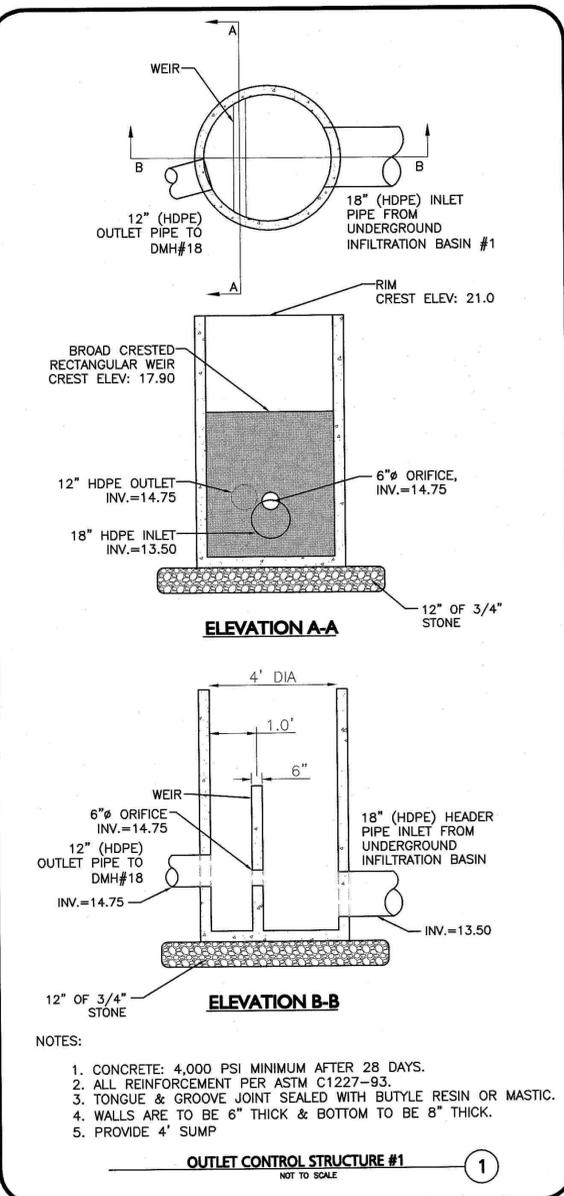
PROJECT:  
BROADSTONE BARE COVE  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO. 2118-02 DATE: 08-12-2016  
SCALE: AS NOTED DWG. NAME: C2118-02  
DESIGNED BY: SJL CHECKED BY: CMQ  
PREPARED BY:

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TOWN OF HINGHAM LIST OF WAIVERS:

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SECTION IV-B-6  
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SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS  
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SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS  
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SECTION V-C-1A - EROSION REMOVAL REGULATIONS  
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 WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.

**TIMOTHY J. WILLIAMS**  
 CIVIL ENGINEER  
 No. 43119  
 REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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PROJECT NO.	2118-02	DATE:	08-12-2016
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PREPARED BY:

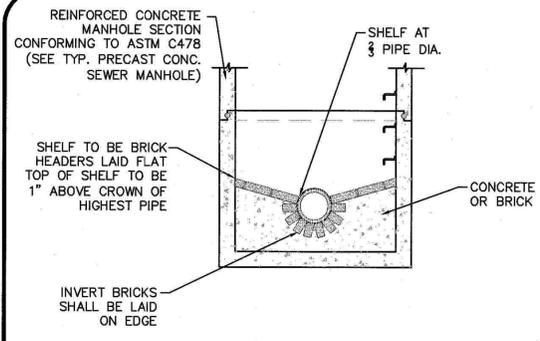
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DETAILS	D-5

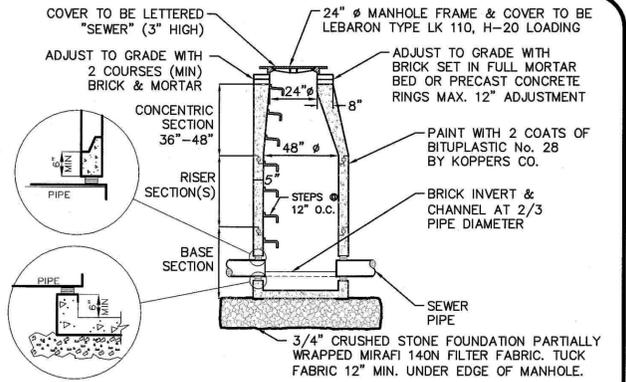
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N:\PROJECTS\2118-02\CIVIL\DRAWINGS\CURRENT\C-2118-02 - DETAILS.DWG



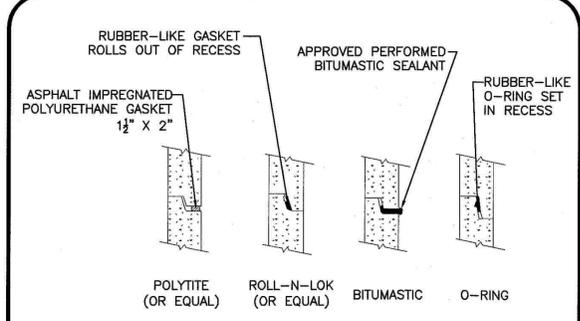
- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
  - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

**PRECAST CONCRETE SEWER MANHOLE (SMH)**  
NOT TO SCALE



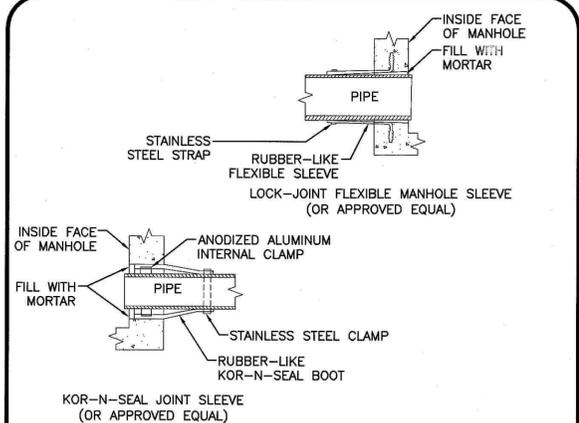
- NOTE:** THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OR PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

**PRECAST CONCRETE SEWER MANHOLE (SMH)**  
NOT TO SCALE



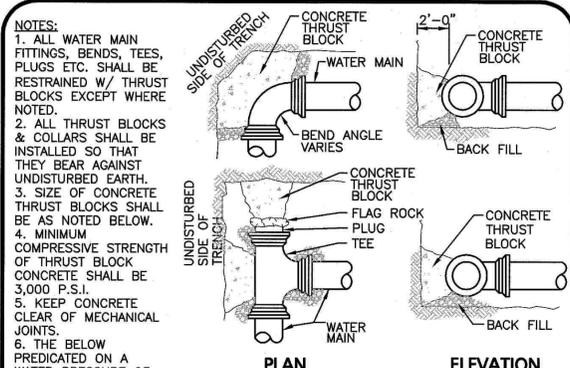
- NOTES:**
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET.
  - ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.

**SEWER MANHOLE JOINTING METHODS**  
NOT TO SCALE



- NOTES:**
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON ELASTOMERIC SEALANT 2. NON-SHRINKING MORTAR SHALL ONLY BE USED WHERE SPECIFICALLY APPROVED BY THE ENGINEER.

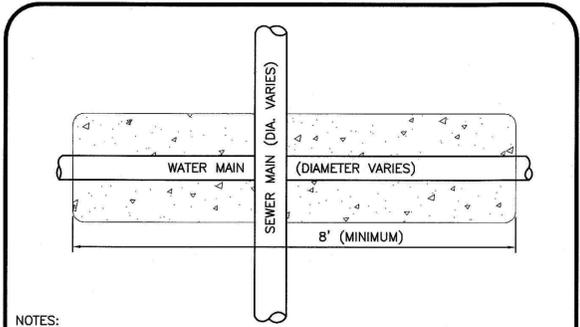
**PIPE CONNECTIONS TO SEWER MANHOLE**  
NOT TO SCALE



**MINIMUM THRUST BLOCK BEARING AREAS**

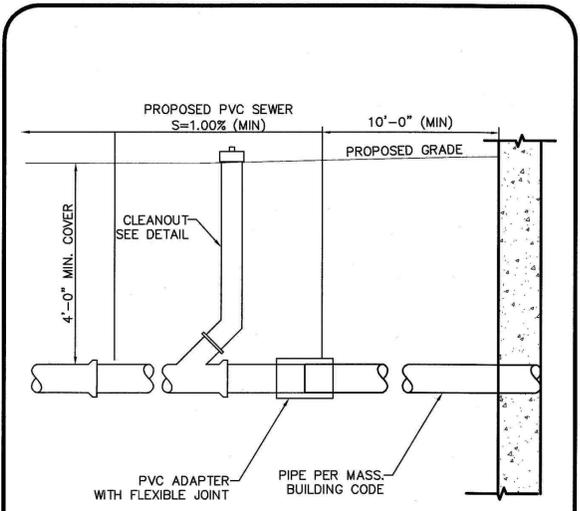
PIPE Ø	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYD. (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

**THRUST BLOCK DETAILS**  
NOT TO SCALE

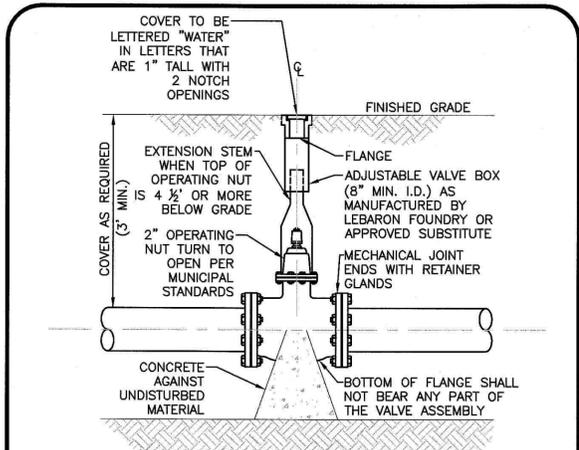


- NOTES:**
- WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER MAIN:
  - THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
  - THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
  - THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
  - THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.

**SEWER / WATER CROSSING DETAIL**  
NOT TO SCALE

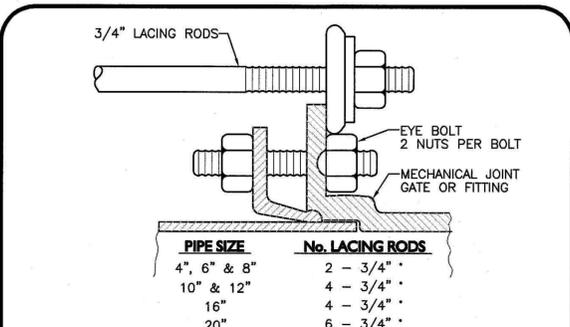


**BUILDING SEWER SERVICE**  
NOT TO SCALE



- NOTE:**
- CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
  - HYDRANTS AND VALVES TO OPERATE PER MUNICIPAL STANDARDS.

**GATE VALVE**  
NOT TO SCALE

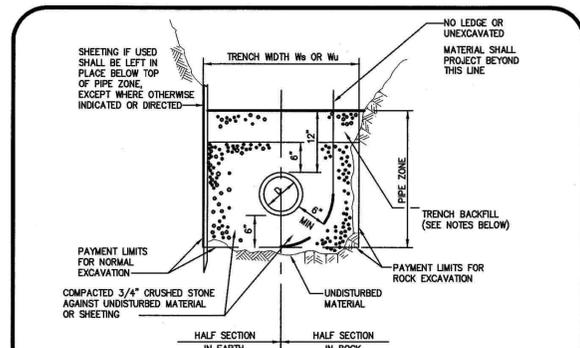


**PIPE SIZE vs. No. LACING RODS**

PIPE SIZE	No. LACING RODS
4", 6" & 8"	2 - 3/4"
10" & 12"	4 - 3/4"
16"	4 - 3/4"
20"	6 - 3/4"

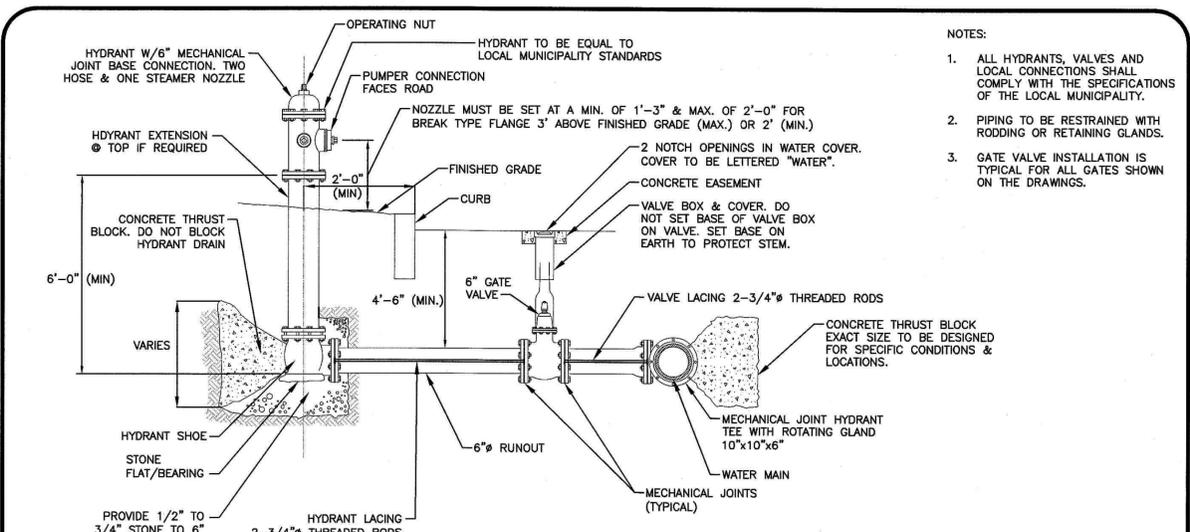
- NOTES:**
- NUMBER OF LACING RODS IS BASED ON MAXIMUM PRESSURE OF 125 P.S.I. IN MAIN.
  - EYE-BOLTS AND LACING RODS ARE TO BE FABRICATED FROM A-36 STEEL.
  - STEEL LACING RODS SHALL HAVE A YIELD STRESS OF NOT LESS THAN 36,000 P.S.I.
  - EYE-BOLTS SHALL HAVE A MINIMUM TENSILE STRENGTH OF 7,000 LBS. EACH.

**MECHANICAL JOINT LACING DETAIL**  
NOT TO SCALE



- NOTES:**
- TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE MEETING MHD SPECIFICATION M1.03.1.
  - WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT-OF-WAY, THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.0, TYPE "H" OR "J".
  - TRENCH BACKFILL MATERIAL TO BE USED OUTSIDE OF THE RIGHT-OF-WAY MAY CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION.
  - GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 90% ELSEWHERE AS DETERMINED BY ASTM D 1557.

**SEWER TRENCH**  
NOT TO SCALE



- NOTES:**
- ALL HYDRANTS, VALVES AND LOCAL CONNECTIONS SHALL COMPLY WITH THE SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
  - PIPING TO BE RESTRAINED WITH RODDING OR RETAINING GLANDS.
  - GATE VALVE INSTALLATION IS TYPICAL FOR ALL GATES SHOWN ON THE DRAWINGS.

**FIRE HYDRANT CONNECTION**  
NOT TO SCALE

**TOWN OF HINGHAM LIST OF WAIVERS:**

SECTION III-A-1.5 - SCHEDULE OF USES

- WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (27.5')
  - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1.15)
  - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET)
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY, WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%)
- SECTION IV-C-1 - GENERAL INTENSITY PROVISIONS
  - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300)
- SECTION IV-E-1B - RESIDENTIAL MULTI-UNIT DEVELOPMENT
  - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE)
- SECTION IV-E-1D
  - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1E
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1F
  - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
- SECTION IV-E-1G
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1H
  - WAIVER ALLOWING LESS THAN TWO DWELLING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT)
- SECTION IV-E-2
  - WAIVER TO DEFER TO CURRENT OHCD LOCAL PREFERENCE CATEGORIES.
- SECTION V-C-2 - OFF-STREET PARKING REQUIREMENTS
  - WAIVER FROM A MINIMUM OF 2.0 PARKING SPACES PER UNIT (1.41 STALLS/UNIT)
- SECTION V-C-1A - EARTH REMOVAL REGULATIONS
  - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAYS AND COMMON LAND
  - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-34A
  - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
  - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT
- ARTICLE 22-8
  - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:

**BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY**  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

**PROJECT:**

**BROADSTONE BARE COVE**  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO. 2118-02 DATE: 08-12-2016

SCALE: AS NOTED DWG. NAME: C2118-02

DESIGNED BY: SJL CHECKED BY: CMQ

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
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environmental consulting • landscape architecture  
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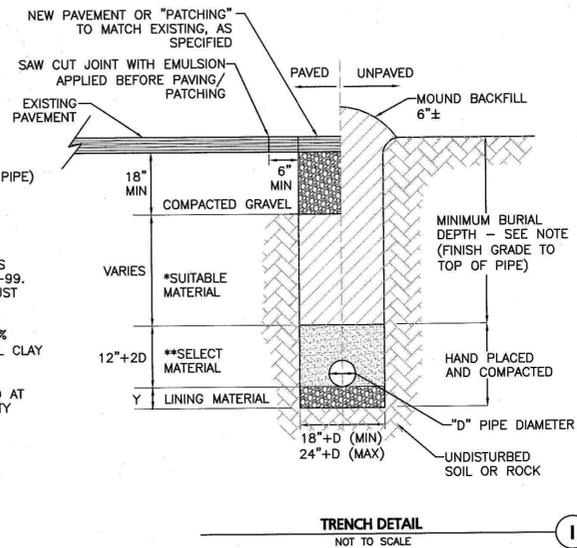
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**NOTES:**

- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)  
GRAVITY PIPE - SEE PLAN OR PROFILE  
PRESSURE PIPE UNDER PAVING - 4'  
PRESSURE PIPE BENEATH UNPAVED - 3'
- WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
- FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
- IT IS RECOMMENDED THAT BEDROCK BE REMOVED TO AT LEAST 12 INCHES BELOW THE BOTTOM OF THE UTILITY CORRIDORS, AND THE UTILITIES BE BACKFILLED WITH BEDDING MATERIAL AS SPECIFIED HERE.
- CONTRACTOR IS RESPONSIBLE TO REVIEW ALL GEOTECHNICAL RECOMMENDATIONS IN MOST CURRENT GEOTECHNICAL REPORT PROVIDED BY OWNER.



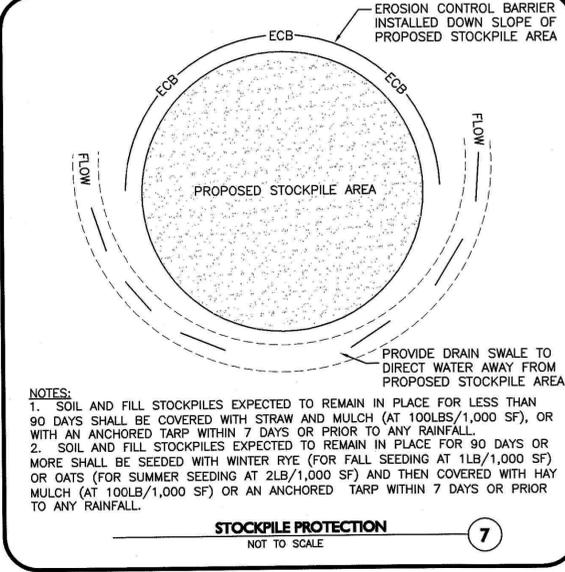
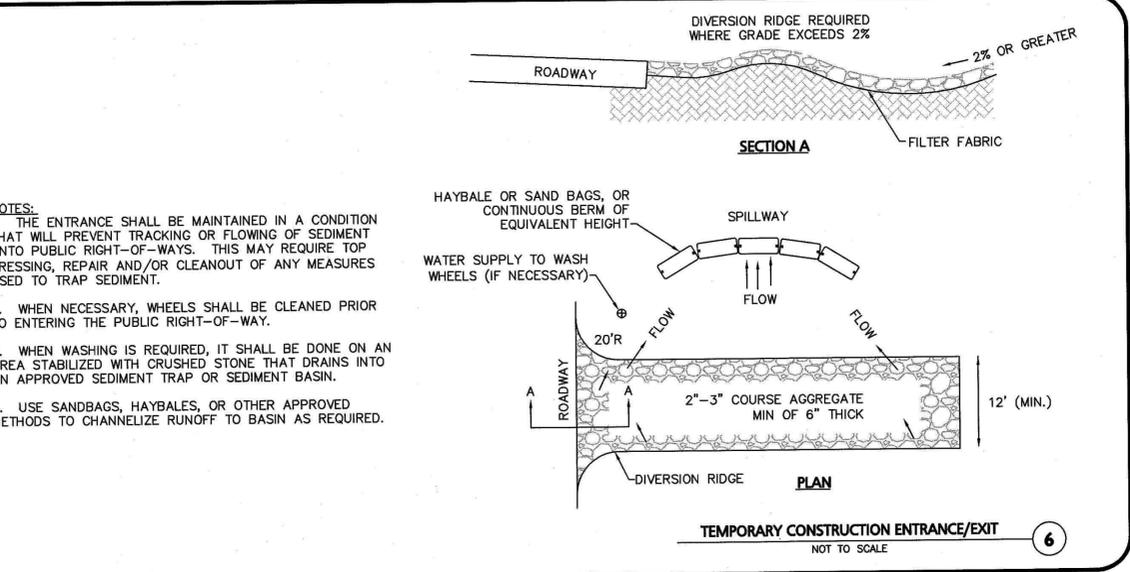
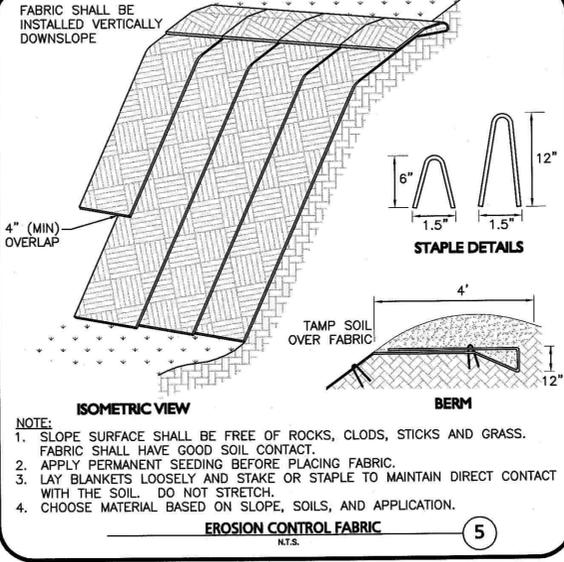
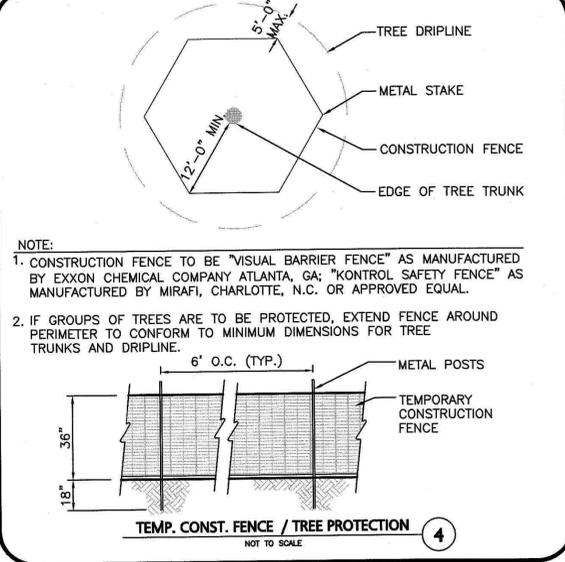
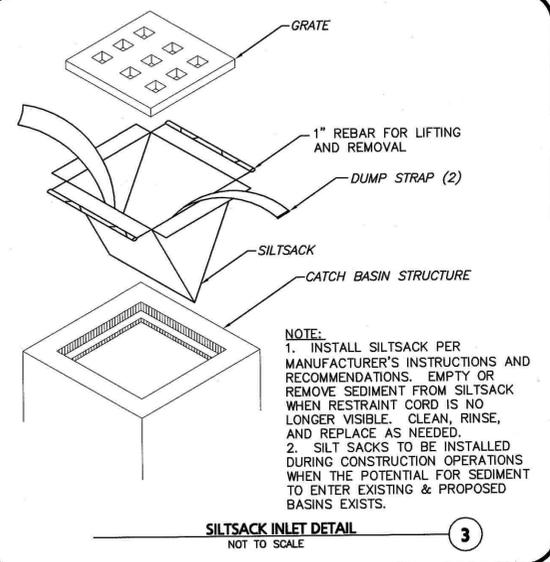
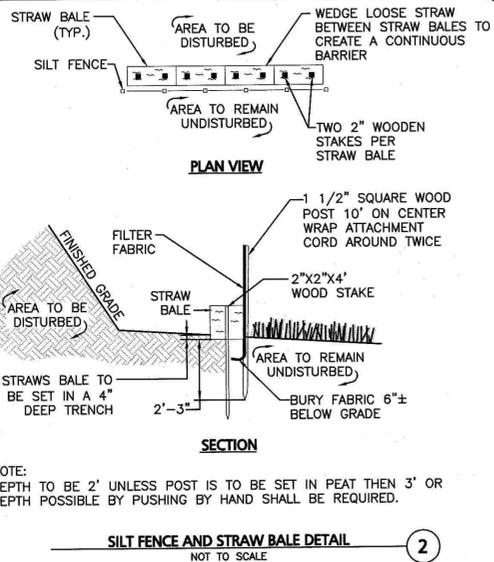
CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

\* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.

\*\*TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.

\*\*TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/4" OPENING, AND NOT MORE THAN 5% PASSING A 1/2" SQUARE OPENING.

\*\*TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 3/4" SQUARE OPENING.



TOWN OF HINGHAM LIST OF WAIVERS:  
SECTION III-A-1.5 - SCHEDULE OF USES  
SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS  
SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS  
SECTION IV-B-6  
SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS  
SECTION IV-E-10  
SECTION IV-E-11  
SECTION IV-E-12  
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	AS NOTED	DWG. NAME:	C2118-02
DESIGNED BY:	SJL	CHECKED BY:	CMQ

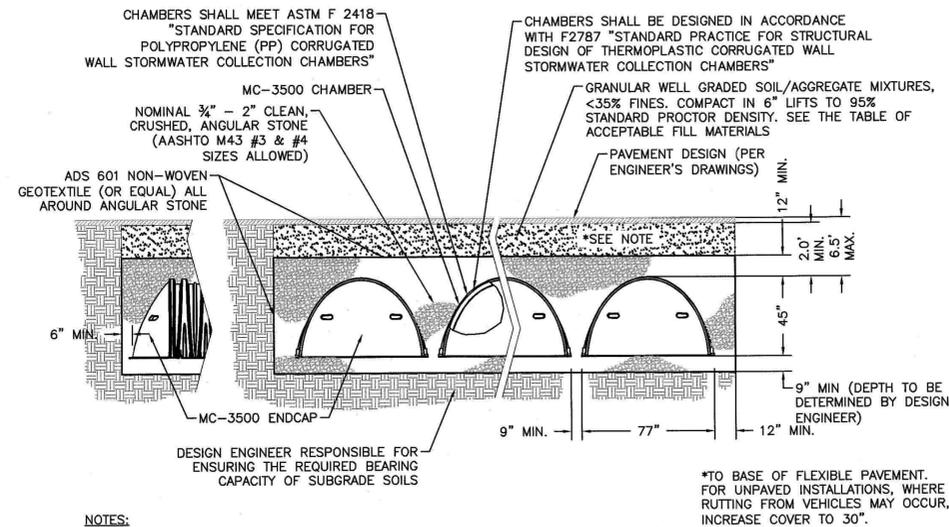
PREPARED BY:

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DRAWING TITLE:	SHEET No.
DETAILS	D-7

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**NOTES:**

- PERIMETER STONE MUST ALWAYS BE BROUGHT UP EVENLY WITH BACKFILL OF BED.
- PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH STRAIGHT OR SLOPED SIDEWALLS.
- THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

\*TO BASE OF FLEXIBLE PAVEMENT. FOR UNPAVED INSTALLATIONS, WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 30".



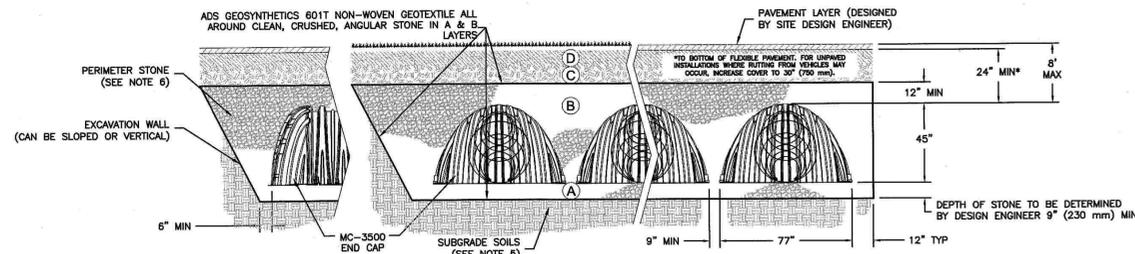
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860-529-8188 | 888-892-2694 | WWW.STORMTECH.COM

**STORMTECH MC-3500 TYPICAL CROSS-SECTION**  
NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUB-BASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUB-BASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145' A-1, A-2-4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUB-GRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

**PLEASE NOTE:**

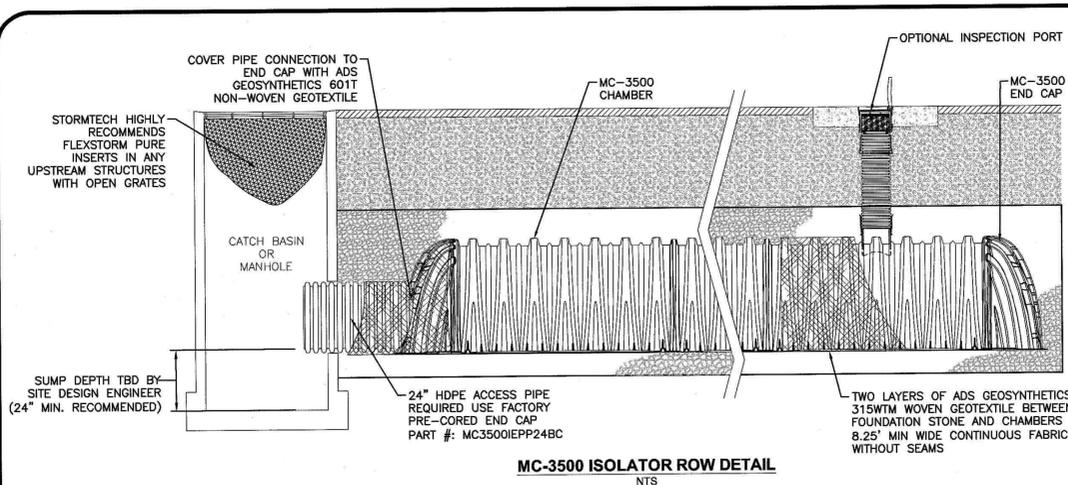
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



**NOTES:**

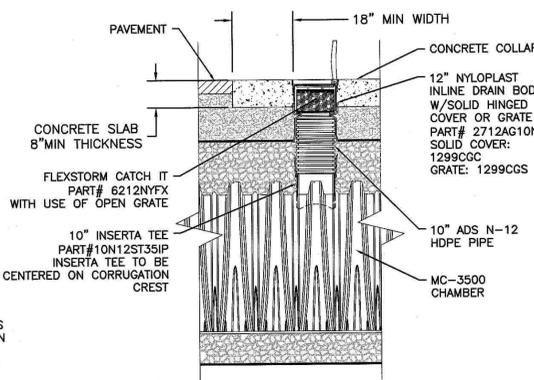
- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS**  
NOT TO SCALE



**MC-3500 ISOLATOR ROW DETAIL**  
NTS

**ISOLATOR ROW & INSPECTION PORT**  
NOT TO SCALE



**TOWN OF HINGHAM LIST OF WAIVERS:**

- SECTION II-A-1.5 - SCHEDULE OF USES
  - WAIVER OF THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT.
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (72'-3").
  - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1:15).
  - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET).
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
  - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
  - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%).
- SECTION IV-B-8
  - WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.
- SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
  - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (300').
- SECTION IV-E-10 - UNIT DEVELOPMENT
  - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE).
- SECTION IV-E-11
  - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-12
  - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
- SECTION IV-E-13
  - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-14
  - WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.4:1 STALLS/UNIT).
- SECTION IV-E-15
  - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
- SECTION V-A-2 - OFF-STREET PARKING REQUIREMENTS
  - WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.4:1 STALLS/UNIT).
- SECTION V-C-1A - EARTH REMOVAL REGULATIONS
  - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAYS AND COMMON LAND
  - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-24A
  - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
  - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT.
- ARTICLE 22-8
  - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

**APPLICANT/OWNER:**  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

**PROJECT:**  
BROADSTONE BARE COVE  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO.	2118-02	DATE:	08-12-2016
SCALE:	AS NOTED	DWG. NAME:	C2118-02
DESIGNED BY:	SJL	CHECKED BY:	CMQ

PREPARED BY:



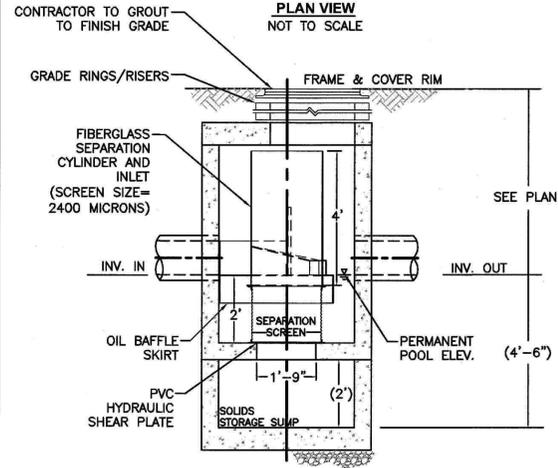
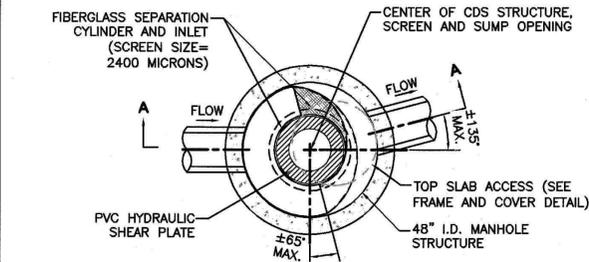
**ALLEN & MAJOR ASSOCIATES, INC.**  
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P.O. BOX 2118  
WOBURN MA 01888-0118  
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
DETAILS	D-8



**FRAME AND COVER**  
DIAMETER VARIES (NTS)



**HIGH EFFICIENCY CDS2015-4-C**  
(OR APPROVED EQUAL)

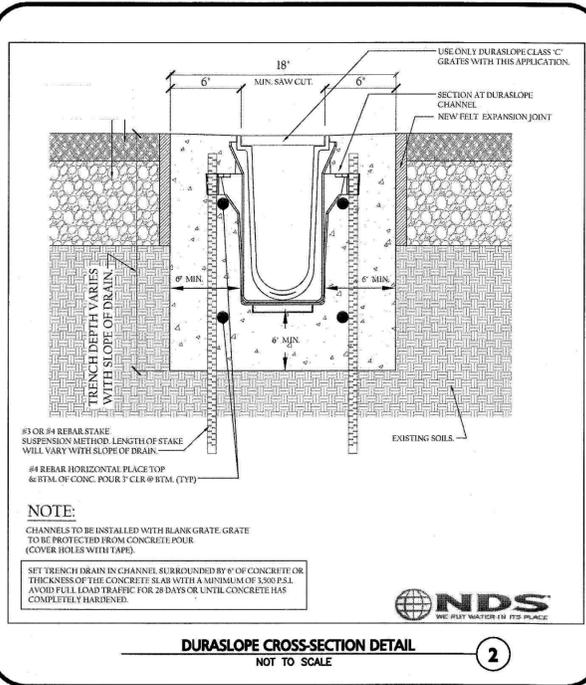
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: [www.contech-cpi.com](http://www.contech-cpi.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	CDS#1
WATER QUALITY FLOW RATE (CFS)	0.54
PEAK FLOW RATE (CFS)	1.20
RETURN PERIOD OF PEAK FLOW (YRS)	25 YRS
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE 1	153.45 HDPE 12"
INLET PIPE 1	153.45 HDPE 12"
OUTLET PIPE	153.45 HDPE 12"
RIM ELEVATION	159.2
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	

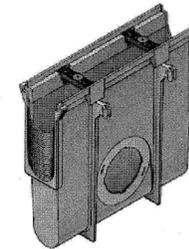


PROPRIETARY SEPARATORS - HIGH EFFICIENCY CDS



**DURASLOPE CROSS-SECTION DETAIL**  
NOT TO SCALE

**DURA SLOPE™**  
CATCH BASIN



- THE NDS DURA SLOPE IN-LINE CATCH BASIN IS DESIGNED TO FIT ALL DEPTH RANGES OF DURA SLOPE TRENCH SECTIONS. CATCH BASIN INLETS ARE DESIGNED TO BE SIZED AS REQUIRED TO ADAPT THE DURA SLOPE TRENCH DRAIN SECTION. THE DURA SLOPE CATCH BASIN IS 2 FEET LONG AND 2 FEET DEEP WITH AN OUTLET ON BOTH SIDES OF THE BASIN. ONE UNIVERSAL ADAPTOR PLUG, ONE BLANK GRATE INSERT AND TWO GRATE SCREWS ARE INCLUDED WITH EACH DURA SLOPE IN-LINE CATCH BASIN. THE NDS UNIVERSAL BASIN OUTLETS ARE USED TO ADAPT THE CATCH BASIN TO 3", 4", 6" AND 8" PIPE.

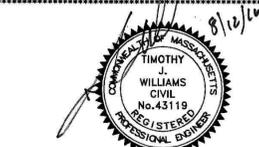
Part No.	Description	Color	Qty.	Wt. Ea. (lb.)	Product Class
DS-340	Dura Slope™ In-Line Catch Basin Available for use of one or two outlets Use #1242, #1243, #1245, #1266, #1206, or #1888 Universal Outlets	Grey	1	12.00	29DS

Note: All dimensions are nominal. All weights are for shipping purposes only. Availability is subject to change.

**DURASLOPE IN-LINE CATCH BASIN DETAIL**  
NOT TO SCALE

TOWN OF HINGHAM LIST OF WAIVERS:

- SECTION III-A-1.5 - SCHEDULE OF USES
- SECTION III-A-1.5 - THE PROHIBITION OF MULTI-FAMILY DWELLINGS IN THE OFFICE PARK DISTRICT.
- SECTION IV-A - SCHEDULE OF DIMENSIONAL REQUIREMENTS
- SECTION IV-A - WAIVER TO ALLOW FOR A MAXIMUM BUILDING HEIGHT OF 35 FEET (27'-0")
- SECTION IV-A - WAIVER TO ALLOW FOR A MAXIMUM FLOOR AREA RATIO OF 0.15 (1.15)
- SECTION IV-A - WAIVER TO ALLOW FOR A MINIMUM FRONT YARD SETBACK OF 100 FEET (81.0 FEET)
- SECTION IV-B-5 - SPECIAL REQUIREMENTS TO SCHEDULE OF DIMENSIONAL REQUIREMENTS
- SECTION IV-B-5 - WAIVER FOR A MINIMUM OF 20 FEET OF GREEN SPACE AROUND THE PERIMETER OF THE PROPERTY.
- SECTION IV-B-5 - WAIVER FOR 20% MAXIMUM BUILDING COVERAGE (24.3%)
- SECTION IV-E-8
- SECTION IV-E-8 - WAIVER TO ALLOW SITE PLAN REVIEW TO BE PERFORMED BY THE PLANNING BOARD.
- SECTION IV-C-4 - GENERAL INTENSITY PROVISIONS
- SECTION IV-E-8 - WAIVER TO ALLOW MORE THAN ONE DWELLING UNIT PER ANY SINGLE LOT (500)
- SECTION IV-E-1B - RESIDENTIAL MULTI-UNIT DEVELOPMENT
- SECTION IV-E-1B - WAIVER TO ALLOW THE NUMBER OF DWELLING UNITS PER ACRE TO BE LESS THAN 8 (24.9 UNITS/ACRE)
- SECTION IV-E-1D
- SECTION IV-E-1D - WAIVER FROM PROVIDING 2000 S.F. OF LANDSCAPED SPACE PER DWELLING UNIT.
- SECTION IV-E-1E
- SECTION IV-E-1E - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1F
- SECTION IV-E-1F - WAIVER FROM PROVIDING 50 FEET OF LANDSCAPED BUFFER ADJACENT TO EACH PROPERTY LINE.
- SECTION IV-E-1G
- SECTION IV-E-1G - WAIVER FROM PROVIDING 300 S.F. OF RECREATIONAL SPACE PER DWELLING UNIT.
- SECTION IV-E-1I
- SECTION IV-E-1I - WAIVER ALLOWING LESS THAN TWO PARKING SPACES PER DWELLING UNIT (1.41 STALLS/UNIT).
- SECTION IV-E-2E
- SECTION IV-E-2E - WAIVER TO DEFER TO CURRENT DHCD LOCAL PREFERENCE CATEGORIES.
- SECTION IV-A-2 - OFF-STREET PARKING REQUIREMENTS
- SECTION IV-A-2 - WAIVER FROM A MINIMUM OF 2.0 PARKING STALLS PER UNIT (1.41 STALLS/UNIT).
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- SECTION IV-C-1A - WAIVER ALLOWING THE REMOVAL OF SOIL, LOAM, SAND, GRAVEL, ETC. TO BE REMOVED FROM A LOT.
- ARTICLE 10 - PUBLIC WAYS AND COMMON LAND
- ARTICLE 10 - WAIVER TO HAVE THE ZONING BOARD OF APPEALS BE THE PERMIT ISSUING AUTHORITY INSTEAD OF THE BOARD OF SELECTMEN.
- ARTICLE 10-34
- ARTICLE 10-34 - WAIVER ALLOWING SOIL, LOAM, SAND, OR GRAVEL FROM LAND IN TOWN NOT IN PUBLIC USE TO ANY LOCATIONS OUTSIDE OF THE TOWN.
- ARTICLE 22-5
- ARTICLE 22-5 - WAIVER FROM THE CONSERVATION COMMISSION HAVING THE AUTHORIZATION TO DENY THE PROJECT
- ARTICLE 22-9
- ARTICLE 22-9 - WAIVER REQUESTED AS A BOND IS ALREADY REQUIRED OF THE APPLICANT AS PART OF THE 40B PROCESS.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
BROADSTONE BARE COVE ALLIANCE, LLC. C/O ALLIANCE RESIDENTIAL COMPANY  
184 HIGH STREET, SUITE 401  
BOSTON, MA 02110

PROJECT:  
**BROADSTONE BARE COVE**  
230 BEAL STREET  
HINGHAM, MA

PROJECT NO. 2118-02 DATE: 08-12-2016

SCALE: AS NOTED DWG. NAME: C2118-02

DESIGNED BY: SJL CHECKED BY: CMQ

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
[www.allenmajor.com](http://www.allenmajor.com)  
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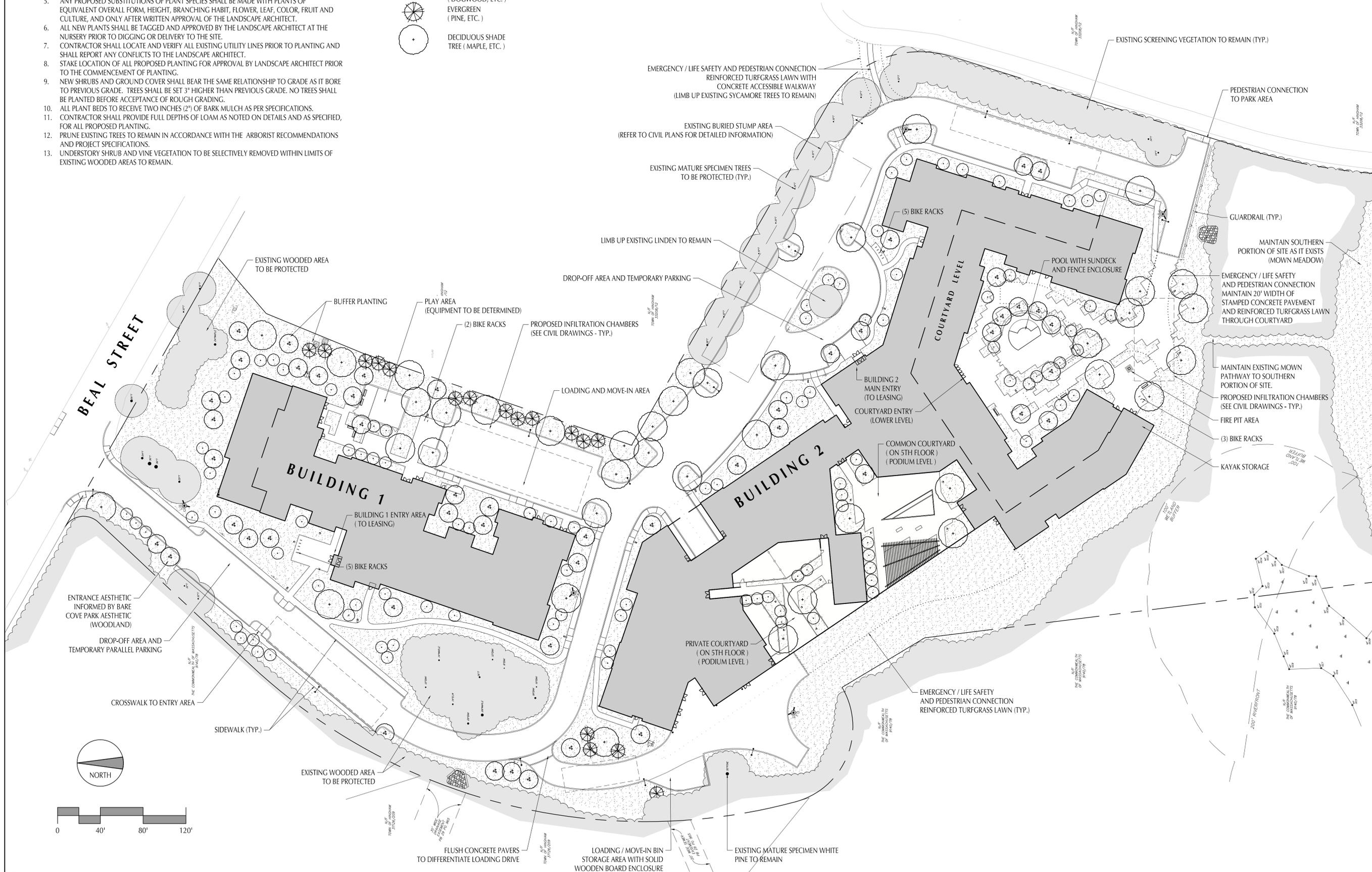
DRAWING TITLE: DETAILS SHEET No. D-9

**PLANTING NOTES**

1. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
2. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
3. ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
4. THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
5. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
6. ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
7. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
8. STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
9. NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
10. ALL PLANT BEDS TO RECEIVE TWO INCHES (2") OF BARK MULCH AS PER SPECIFICATIONS.
11. CONTRACTOR SHALL PROVIDE FULL DEPTHS OF LOAM AS NOTED ON DETAILS AND AS SPECIFIED, FOR ALL PROPOSED PLANTING.
12. PRUNE EXISTING TREES TO REMAIN IN ACCORDANCE WITH THE ARBORIST RECOMMENDATIONS AND PROJECT SPECIFICATIONS.
13. UNDERSTORY SHRUB AND VINE VEGETATION TO BE SELECTIVELY REMOVED WITHIN LIMITS OF EXISTING WOODED AREAS TO REMAIN.

**LEGEND**

- EXISTING SPECIMEN TREES TO REMAIN
- EXISTING WOODED AREA TO REMAIN
- ORNAMENTAL TREE (BIRCH, ETC.)
- FLOWERING TREE (DOGWOOD, ETC.)
- EVERGREEN (PINE, ETC.)
- DECIDUOUS SHADE TREE (MAPLE, ETC.)
- DRIVE / PARKING AREA LIGHTING FIXTURE
- PEDESTRIAN SCALE LIGHTING FIXTURE
- BOLLARD LIGHTING FIXTURE
- BIKE RACKS



**Broadstone Bare Cove Alliance LLC**  
 care of:  
 Alliance Residential Company  
 184 High Street, Suite 401  
 Boston, MA 02110

**Shadley Associates**  
 Landscape Architects / Site Planning Consultants  
 1730 Massachusetts Ave. • P 781.652.8809  
 Lexington, MA 02420 • F 781.862.2687  
 www.shadleyassociates.com

NO.	DESCRIPTION	DATE

STAMP:  
  
 JAMES P. SHADLEY  
 LANDSCAPE ARCHITECT  
 NO. 955  
 STATE OF MASSACHUSETTS

**BROADSTONE BARE COVE**  
 230 Beal St  
 Hingham, MA 02043

**NOT FOR CONSTRUCTION**

SA PROJECT NUMBER:  
 15062.0.00

SCALE: 1" = 40'

DRAWN BY: JPG / YX

REVIEWED BY: JPS

DATE:  
 AUGUST 12, 2016

SHEET TITLE:  
 LANDSCAPE PLAN

SHEET NUMBER:  
**L-100**







**BROADSTONE BARE COVE**  
230 BEAL STREET, HINGHAM, MA  
CONCEPTUAL BUILDING SUMMARY & UNIT MIX  
8/12/2016

UNIT TYPE	DESCRIPTION	BEDS/UNIT	BATHS/UNIT	UNIT NRSF	BUILDING 1				BUILDING 1 TOTALS				BUILDING 2					BUILDING 2 TOTALS				PROJECT TOTALS					
					1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNITS	TOTAL BEDS	TOTAL BATHS	TOTAL NRSF	GROUND FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTAL UNITS	TOTAL BEDS	TOTAL BATHS	TOTAL NRSF	TOTAL UNITS	TOTAL BEDS	TOTAL BATHS	TOTAL NRSF	UNIT MIX
A1	1 BED/1 BATH	1	1	801	1	1	1	1	4	4	4	3,204	4	6	5	6	5	6	32	32	32	25,632	36	36	36	28,836	12.0%
A1-G2	1 BED/1 BATH - GROUP 2 UNIT	1	1	801	0	0	0	0	0	0	0	0	0	0	1	0	1	0	2	2	2	1,602	2	2	2	1,602	0.7%
A2	1 BED/1 BATH	1	1	805	0	0	0	1	1	1	1	805	0	0	0	0	0	0	0	0	0	0	1	1	1	805	0.3%
A3	1 BED/1 BATH	1	1	819	0	0	0	0	0	0	0	0	0	1	1	1	0	0	3	3	3	2,457	3	3	3	2,457	1.0%
A4	1 BED/1 BATH	1	1	839	4	6	6	4	20	20	20	16,780	2	8	9	8	8	6	41	41	41	34,399	61	61	61	51,179	20.3%
A4-G2	1 BED/1 BATH - GROUP 2 UNIT	1	1	839	1	0	0	0	1	1	1	839	0	1	0	1	1	0	3	3	3	2,517	4	4	4	3,356	1.3%
A5	1 BED/1 BATH	1	2	933	0	0	0	0	0	0	0	0	0	1	1	1	1	0	3	3	6	2,799	3	3	6	2,799	1.0%
A6	1 BED/1 BATH	1	1	934	1	0	0	1	2	2	2	1,868	0	0	0	0	0	0	0	0	0	0	2	2	2	1,868	0.7%
A7	1 BED/1 BATH + DEN	1	1	946	0	1	1	0	2	2	2	1,892	0	0	0	0	0	0	0	0	0	0	2	2	2	1,892	0.7%
A8	1 BED/1 BATH + DEN	1	2	1,076	0	0	0	0	0	0	0	0	0	1	1	1	1	4	4	4	8	4,304	4	4	8	4,304	1.3%
<b>One Bed Average SF</b>				<b>840</b>	<b>7</b>	<b>8</b>	<b>8</b>	<b>7</b>	<b>30</b>	<b>30</b>	<b>30</b>	<b>25,388</b>	<b>6</b>	<b>16</b>	<b>18</b>	<b>18</b>	<b>16</b>	<b>14</b>	<b>88</b>	<b>88</b>	<b>95</b>	<b>73,710</b>	<b>118</b>	<b>118</b>	<b>125</b>	<b>99,098</b>	<b>39.33%</b>
B1	2 BED/2 BATH	2	2	1,166	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	2	2	1,166	1	2	2	1,166	0.3%
B2	2 BED/2 BATH	2	2	1,176	0	0	0	0	0	0	0	0	0	1	1	1	1	1	5	10	10	5,880	5	10	10	5,880	1.7%
B3	2 BED/2 BATH	2	2	1,186	0	0	0	0	0	0	0	0	0	3	6	7	6	4	26	52	52	30,836	26	52	52	30,836	8.7%
B3-G2	2 BED/2 BATH - GROUP 2 UNIT	2	2	1,186	0	0	0	0	0	0	0	0	1	0	1	0	0	0	2	4	4	2,372	2	4	4	2,372	0.7%
B4	2 BED/2 BATH	2	2	1,192	4	4	5	5	18	36	36	21,456	1	5	6	5	6	5	28	56	56	33,376	46	92	92	54,832	15.3%
B4-G2	2 BED/2 BATH - GROUP 2 UNIT	2	2	1,192	0	1	0	0	1	2	2	1,192	0	0	0	1	0	1	2	4	4	2,384	3	6	6	3,576	1.0%
B5	2 BED/2 BATH	2	2	1,194	3	5	5	3	16	32	32	19,104	2	1	2	2	2	1	10	20	20	11,940	26	52	52	31,044	8.7%
B5-G2	2 BED/2 BATH - GROUP 2 UNIT	2	2	1,194	0	0	0	1	1	2	2	1,194	0	1	0	0	0	0	1	2	2	1,194	2	4	4	2,388	0.7%
B6	2 BED/2 BATH	2	2	1,198	0	1	1	1	3	6	6	3,594	0	0	0	0	0	0	0	0	0	0	3	6	6	3,594	1.0%
B7	2 BED/2 BATH	2	2	1,206	1	1	1	1	3	6	6	3,618	0	0	0	0	0	0	0	0	0	0	3	6	6	3,618	1.0%
B8	2 BED/2 BATH	2	2	1,210	0	0	0	0	0	0	0	0	0	1	1	1	1	1	4	8	8	4,840	4	8	8	4,840	1.3%
B9	2 BED/2 BATH	2	2	1,220	0	0	0	0	0	0	0	0	0	1	1	1	1	1	5	10	10	6,100	5	10	10	6,100	1.7%
B10	2 BED/2 BATH	2	2	1,234	0	0	0	0	0	0	0	0	0	1	1	1	1	1	5	10	10	6,170	5	10	10	6,170	1.7%
B11	2 BED/2 BATH	2	2	1,285	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	2	2	1,285	1	2	2	1,285	0.3%
B12	2 BED/2 BATH	2	2	1,311	0	1	1	0	2	4	4	2,622	0	0	0	0	0	0	0	0	0	0	2	4	4	2,622	0.7%
B13	2 BED/2 BATH + DEN	2	2	1,454	0	0	0	0	0	0	0	0	0	1	1	1	0	0	3	6	6	4,362	3	6	6	4,362	1.0%
<b>Two Bed Average SF</b>				<b>1,202</b>	<b>8</b>	<b>13</b>	<b>13</b>	<b>10</b>	<b>44</b>	<b>88</b>	<b>88</b>	<b>52,780</b>	<b>4</b>	<b>14</b>	<b>20</b>	<b>20</b>	<b>19</b>	<b>16</b>	<b>93</b>	<b>186</b>	<b>186</b>	<b>111,905</b>	<b>137</b>	<b>274</b>	<b>274</b>	<b>164,685</b>	<b>45.67%</b>
C1	3 BED/2 BATH	3	2	1,435	0	0	0	0	0	0	0	0	1	1	1	1	1	1	6	18	12	8,610	6	18	12	8,610	2.0%
C2	3 BED/2 BATH	3	2	1,470	0	0	0	0	0	0	0	0	0	1	1	1	1	1	5	15	10	7,350	5	15	10	7,350	1.7%
C3	3 BED/2 BATH	3	2	1,471	0	0	0	2	2	6	4	2,942	0	0	0	0	1	0	1	3	2	1,471	3	9	6	4,413	1.0%
C4	3 BED/2 BATH	3	2	1,471	1	1	1	0	3	9	6	4,413	0	0	0	0	0	0	0	0	0	0	3	9	6	4,413	1.0%
C5	3 BED/2 BATH	3	2	1,471	0	0	0	0	0	0	0	0	0	1	1	1	1	1	5	15	10	7,355	5	15	10	7,355	1.7%
C6	3 BED/2 BATH	3	2	1,471	0	0	0	0	0	0	0	0	0	0	0	0	2	0	2	6	4	2,942	2	6	4	2,942	0.7%
C7	3 BED/2 BATH	3	2	1,471	0	0	0	0	0	0	0	0	2	2	2	1	0	0	7	21	14	10,297	7	21	14	10,297	2.3%
C7-G2	3 BED/2 BATH - GROUP 2 UNIT	3	2	1,471	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	3	2	1,471	1	3	2	1,471	0.3%
C8	3 BED/2 BATH	3	2	1,473	1	1	0	1	3	9	6	4,419	0	0	0	0	0	0	0	0	0	0	3	9	6	4,419	1.0%
C8-G2	3 BED/2 BATH - GROUP 2 UNIT	3	2	1,473	0	0	1	0	1	3	2	1,473	0	0	0	0	0	0	0	0	0	0	1	3	2	1,473	0.3%
C9	3 BED/2 BATH	3	2	1,530	0	0	0	0	0	0	0	0	0	1	1	1	0	0	3	9	6	4,590	3	9	6	4,590	1.0%
C10	3 BED/2 BATH	3	2	1,554	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	3	2	1,554	1	3	2	1,554	0.3%
C11	3 BED/2 BATH	3	2	1,605	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	3	2	1,605	1	3	2	1,605	0.3%
C12	3 BED/2 BATH	3	2	1,659	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	3	2	1,659	1	3	2	1,659	0.3%
C13	3 BED/2 BATH	3	2	1,743	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	3	2	1,743	1	3	2	1,743	0.3%
C14	3 BED/2 BATH	3	2	1,800	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	3	2	1,800	1	3	2	1,800	0.3%
C15	3 BED/2 BATH	3	2	1,813	0	0	0	0	0	0	0	0	0	0	0	1	1	1	1	3	2	1,813	1	3	2	1,813	0.3%
<b>Three Bed Average SF</b>				<b>1,500</b>	<b>2</b>	<b>2</b>	<b>2</b>	<b>3</b>	<b>9</b>	<b>27</b>	<b>18</b>	<b>13,247</b>	<b>3</b>	<b>6</b>	<b>6</b>	<b>6</b>	<b>6</b>	<b>9</b>	<b>36</b>	<b>108</b>	<b>72</b>	<b>54,260</b>	<b>45</b>	<b>135</b>	<b>90</b>	<b>67,507</b>	<b>15.00%</b>
<b>TOTALS</b>				<b>1,104</b>	<b>17</b>	<b>23</b>	<b>23</b>	<b>20</b>	<b>83</b>	<b>145</b>	<b>136</b>	<b>91,415</b>	<b>13</b>	<b>36</b>	<b>44</b>	<b>44</b>	<b>41</b>	<b>39</b>	<b>217</b>	<b>382</b>	<b>353</b>	<b>239,875</b>	<b>300</b>	<b>527</b>	<b>489</b>	<b>331,290</b>	<b>100.00%</b>

PARKING SUMMARY	
SURFACE PARKING	109
AT-GRADE STRUCTURED PARKING	67
STRUCTURED PARKING LEVEL (2 & 3)	184
STRUCTURED PARKING LEVEL 4	63
ACCESSIBLE / VAN PARKING (INCLUDED IN TOTAL COUNT)	12
<b>TOTAL PARKING SPACES</b>	<b>423</b>
<b>PARKING RATIO</b>	<b>1.41</b>
BIKE LOUNGE & BIKE ROOM	2,723
MAINTENANCE	1,714
STRUCTURED PARKING GSF GROUND FLOOR (MINUS AMENITY STORAGE)	31,161
STRUCTURED PARKING GSF LEVEL (2 & 3)	67,768
STRUCTURED PARKING GSF LEVEL 4	26,902
STRUCTURED PARKING ROOF GSF (5TH LEVEL - AMENITY COURTYARD GROSS)	33,884
<b>OVERALL STRUCTURED PARKING GSF*</b>	<b>164,152</b>

BUILDING 1 RESIDENTIAL SUMMARY		CALCS
LOBBY / AMENITY @ GROUND FLOOR	2,434	

















project information:  
**Broadstone  
Bare Cove**  
230 Beal Street,  
Hingham, MA 02043

client information:  
**Broadstone  
Bare Cove  
Alliance, LLC.**  
C/O Alliance  
Residential Company  
184 High Street  
Suite 401  
Boston, MA 02110

consultant information:

**COMPREHENSIVE  
PERMIT  
APPLICATION**

drawing information:  
drawing by: BLE  
drawing checked by: AB/JH  
drawing scale: As Noted  
drawing date: 12 August 2016

drawing revisions:  
project number: 15122.00

rev.	description	date



drawing name:  
**Building 1  
Exterior  
Elevations**

drawing number:  
**A1-201**

**Building 1 - North Elevation**  
SCALE: NTS





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**drawing revisions:**  
project number: 15122.00

rev.	description	date



**drawing name:**  
Building 1  
Exterior  
Elevations

**drawing number:**  
**A1-203**

Building 1 - South Elevation  
SCALE: NTS

















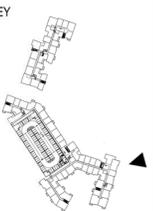


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**Conceptual  
Building  
Perspective**

Conceptual East Perspective 1  
 SCALE: 1/8" = 1'-0"

**A-501**