

TOWN OF HINGHAM

CARLSON COMPLEX PICKLEBALL COURTS

25 BARE COVE PARK DRIVE

HINGHAM, MA 02043

SHEET INDEX

GENERAL	
G-000	TITLE SHEET
C-010	LEGEND & OVERALL PLOT PLAN
C-020	EXISTING CONDITIONS PLAN
C-050	DEMOLITION PLAN
C-100	SITE PLAN
C-200	GRADING & DRAINAGE PLAN
C-400	EROSION CONTROL PLAN
C-500	LANDSCAPE PLAN
C-601	SITE DETAILS
C-602	SITE DETAILS
C-603	SITE DETAILS
C-604	SITE DETAILS



PROJECT LOCATION MAP

1" = 200'

PERMITTING PLANS 5.6.26

PERMITTING DRAWINGS

MAY, 2026

ZONING TABLE

PARCEL IDENTIFICATION: ASSESSORS MAP 69 - PART OF LOT 44, SCHOOL TRACT IV
TOTAL LOT AREA: 30.81 ACRES
PROJECT AREA: 2.25 ACRES
TOTAL AREA DISTURBED: 44,424 S.F. (1.02 ACRES)
EXISTING IMPERVIOUS AREA WITHIN WETLAND BUFFERS: 13,524 S.F.
PROPOSED IMPERVIOUS AREA WITHIN WETLAND BUFFERS: 8,287 S.F.
ZONING DISTRICT: OFFICIAL AND OPEN SPACE DISTRICT
PROPOSED USE: 8 PICKLEBALL COURTS WITH PARKING

REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	2.25 ACRES
MINIMUM FRONTAGE	20 FEET	294 FEET
MAXIMUM BUILDING HEIGHT	35' / N/A STORIES	0
MAXIMUM BUILDING COVERAGE	10%	0
MINIMUM FRONT YARD	40 FEET	67.9 FEET
MINIMUM SIDE YARD	40 FEET	117.8 FEET
MINIMUM REAR YARD	40 FEET	>700 FEET
MINIMUM GREEN YARD	20 FEET	20 FEET
PARKING	1 SPACE/ 3 PERSONS	11 SPACES (4 PEOPLE PER COURT)



TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER IN ANY WAY, IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL, IS ALTERED. THE LISTING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

CARLSON COMPLEX
PICKLEBALL COURTS

No.	Submittal / Revision	App	By	Date
A	PERMITTING REVISIONS	MSM	CAC	05/11/26
A	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
B	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
A	PERMIT SET	MSM	CAC	013/26/26

TITLE SHEET

Designed By:	Drawn By:	Checked By:
CAC	CAC	MSM
Issue Date:	Project No.:	Scale:
3/26/26	102399	AS SHOWN

Drawing No.:

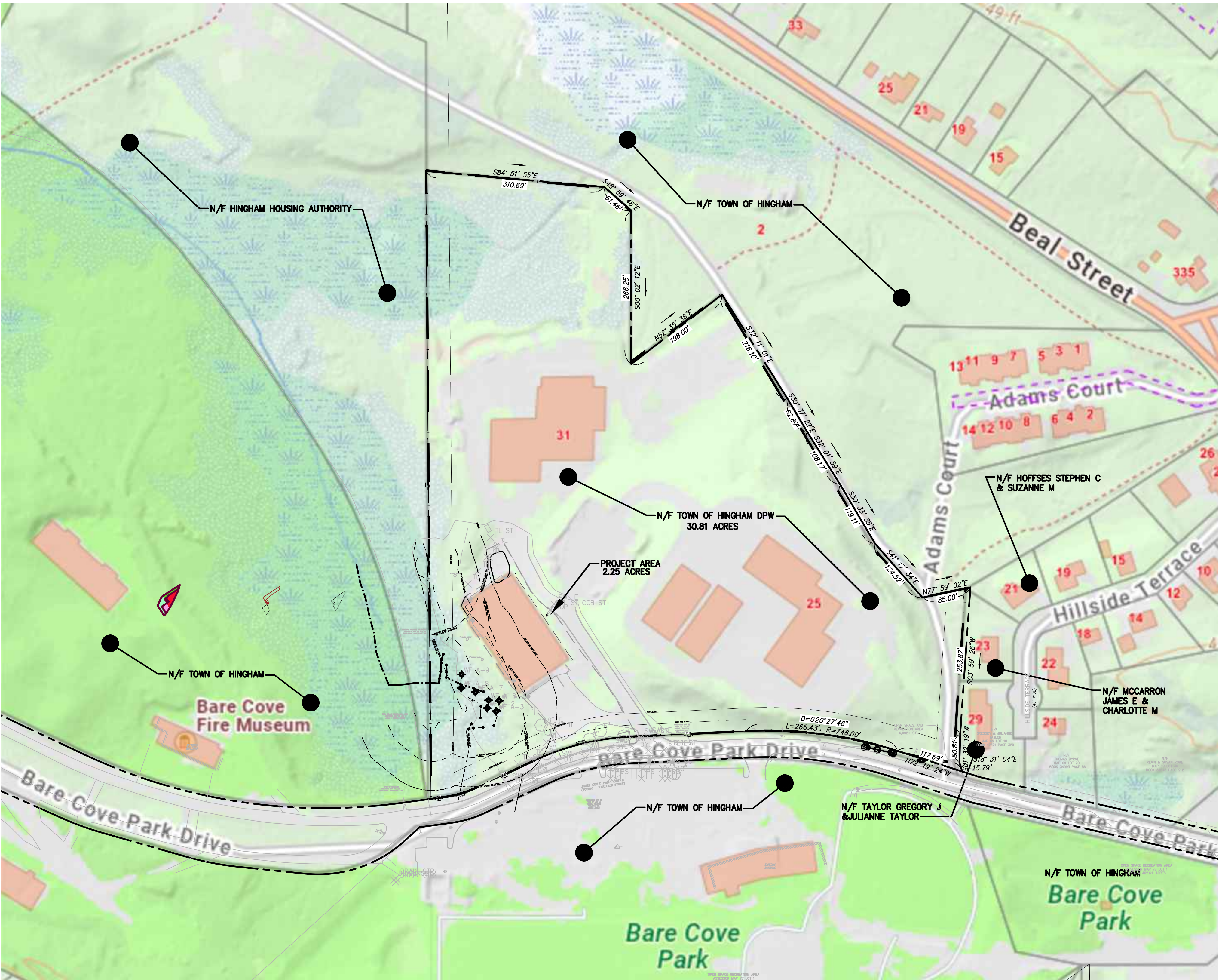
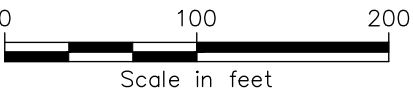
G-000

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

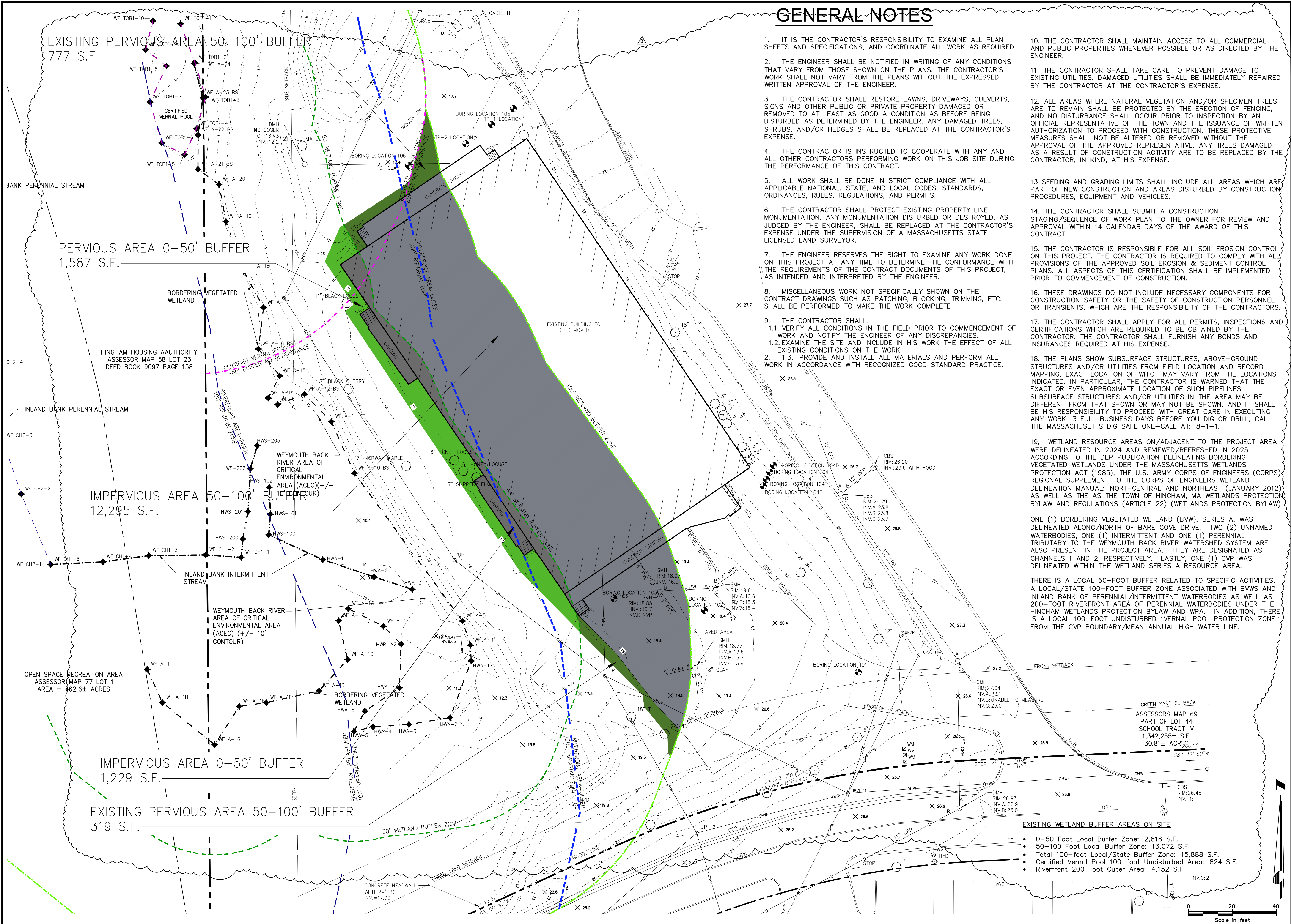
Submittal / Revision	Apv	By	Date
PERMITTING REVISIONS	MSM	CAC	05/11/26
PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
PERMIT SET	MSM	CAC	013/26/26

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

C-010



File: Y:\PROJECTS\ANV\102399_000\09_DESIGN\DRAWINGS\01_SHEETS\010_EXISTING CONDITIONS PLAN.DWG
Saved: 4/24/2024 3:51:55 PM Plotted: 5/11/2024 2:27:50 PM Current User: Cereba, Christopher Last Saved By: Bde



GENERAL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE ALL WORK AS REQUIRED.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED, WRITTEN APPROVAL OF THE ENGINEER.
3. THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
5. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, REGULATIONS, AND PERMITS.
6. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A MASSACHUSETTS STATE LICENSED LAND SURVEYOR.
7. THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ENGINEER.
8. MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATCHING, BLOCKING, TRIMMING, ETC., SHALL BE PERFORMED TO MAKE THE WORK COMPLETE.
9. THE CONTRACTOR SHALL:
 - 1.1. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - 1.2. EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.
 - 1.3. PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL COMMERCIAL AND PUBLIC PROPERTIES WHENEVER POSSIBLE OR AS DIRECTED BY THE ENGINEER.
11. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING UTILITIES. DAMAGED UTILITIES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
12. ALL AREAS WHERE NATURAL VEGETATION AND/OR SPECIMEN TREES ARE TO REMAIN SHALL BE PROTECTED BY THE ERECTION OF FENCING, AND NO DISTURBANCE SHALL OCCUR PRIOR TO INSPECTION BY AN OFFICIAL REPRESENTATIVE OF THE TOWN AND THE ISSUANCE OF WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION. THESE PROTECTIVE MEASURES SHALL NOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE APPROVED REPRESENTATIVE. ANY TREES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY THE CONTRACTOR, IN KIND, AT HIS EXPENSE.
13. SEEDING AND GRADING LIMITS SHALL INCLUDE ALL AREAS WHICH ARE PART OF NEW CONSTRUCTION AND AREAS DISTURBED BY CONSTRUCTION PROCEDURES, EQUIPMENT AND VEHICLES.
14. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING/SEQUENCE OF WORK PLAN TO THE OWNER FOR REVIEW AND APPROVAL WITHIN 14 CALENDAR DAYS OF THE AWARD OF THIS CONTRACT.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION CONTROL ON THIS PROJECT. THE CONTRACTOR IS REQUIRED TO COMPLY WITH ALL PROVISIONS OF THE APPROVED SOIL EROSION & SEDIMENT CONTROL PLANS. ALL ASPECTS OF THIS CERTIFICATION SHALL BE IMPLEMENTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
16. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY OR THE SAFETY OF CONSTRUCTION PERSONNEL OR TRANSIENTS, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTORS.
17. THE CONTRACTOR SHALL APPLY FOR ALL PERMITS, INSPECTIONS AND CERTIFICATIONS WHICH ARE REQUIRED TO BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH ANY BONDS AND INSURANCES REQUIRED AT HIS EXPENSE.
18. THE PLANS SHOW SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES FROM FIELD LOCATION AND RECORD MAPPING, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 3 FULL BUSINESS DAYS BEFORE YOU DIG OR DRILL, CALL THE MASSACHUSETTS DIG SAFE ONE-CALL AT: 8-1-1.
19. WETLAND RESOURCE AREAS ON/ADJACENT TO THE PROJECT AREA WERE DELINEATED IN 2024 AND REVIEWED/REFRESHED IN 2025 ACCORDING TO THE DEP PUBLICATION DELINEATING BORDERING VEGETATED WETLANDS UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT (1985), THE U.S. ARMY CORPS OF ENGINEERS (CORPS) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST (JANUARY 2012) AS WELL AS THE AS THE TOWN OF HINGHAM, MA WETLANDS PROTECTION BYLAW AND REGULATIONS (ARTICLE 22) (WETLANDS PROTECTION BYLAW).

ONE (1) BORDERING VEGETATED WETLAND (BVW), SERIES A, WAS DELINEATED ALONG/NORTH OF BARE COVE DRIVE. TWO (2) UNNAMED WATERBODIES, ONE (1) INTERMITTENT AND ONE (1) PERENNIAL TRIBUTARY TO THE WEYMOUTH BACK RIVER WATERSHED SYSTEM ARE ALSO PRESENT IN THE PROJECT AREA. THEY ARE DESIGNATED AS CHANNELS 1 AND 2, RESPECTIVELY. LASTLY, ONE (1) CVP WAS DELINEATED WITHIN THE WETLAND SERIES A RESOURCE AREA.

THERE IS A LOCAL 50-FOOT BUFFER RELATED TO SPECIFIC ACTIVITIES, A LOCAL/STATE 100-FOOT BUFFER ZONE ASSOCIATED WITH BVWS AND INLAND BANK OF PERENNIAL/INTERMITTENT WATERBODIES AS WELL AS 200-FOOT RIVERFRONT AREA OF PERENNIAL WATERBODIES UNDER THE HINGHAM WETLANDS PROTECTION BYLAW AND WPA. IN ADDITION, THERE IS A LOCAL 100-FOOT UNDISTURBED "VERNAL POOL PROTECTION ZONE" FROM THE CVP BOUNDARY/MEAN ANNUAL HIGH WATER LINE.



TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

CARLSON COMPLEX PICKLEBALL COURTS

No.	Submitted / Revision	Appr	By	Date
△	PERMITTING REVISIONS	MSM	CAC	05/11/26
△	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
△	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
△	PERMIT SET	MSM	CAC	013/26/26

EXISTING CONDITIONS PLAN

Designed By:	Drawn By:	Checked By:
CAC	CAC	MSM
Issue Date:	Project No.:	Scale:
3/26/26	102399	AS SHOWN

Drawing No.:

C-020

0 20' 40'
Scale in feet

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Submittal / Revision	Appr	By	Date
1	PERMITTING REVISIONS	MSM	CAC	05/11/20
2	PERMITTING REVIEW REVISIONS	MSM	CAC	05/06/20
3	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/20
4	PERMIT SET	MSM	CAC	013/26/20

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

C-100

Location in Buffer Zone^{1,2}	Existing Conditions	Proposed Conditions	Proposed Change	Mitigation Required (to Altered Areas)
0-50 Foot Buffer³	Pervious Surface = 1,357 sf	Pervious Surface = 2,473 sf	Increase of 1,116 sf	1:1 Mitigation exceeded
	Impervious Surface = 1,116 sf	Impervious Surface = 0 sf	Decrease of 1,116 sf	No Mitigation required
50-100 Foot Buffer³	Pervious Surface = 589 sf	Pervious Surface = 4,785 sf	Increase of 4,196 sf	No Mitigation required – Mitigation provided
	Impervious Surface = 12,002 sf	Impervious Surface = 8,287 sf	Decrease of = 3,715 sf	No Mitigation required
CVP 100-foot Undisturb Buffer	Pervious Surface = 418 sf	Pervious Surface = 824 sf	Increase of 406 sf	2:1 Mitigation exceeded
	Impervious Surface = 406 sf	Impervious Surface = 0 sf	Decrease of 406 sf	No Mitigation required

Note: As defined under the BZMP "mitigation is not required when existing area to be altered is an impervious surface", defined in part as: building rooftops, parking lots/paved surfaces, etc. However, mitigation is proposed.

Note: Mitigation is proposed to restore/rehabilitate pervious surfaces as identified in the NOI under Section 4.4 and Site Plans (Section V).

3 Note: Does not include CVP s.f. area

1. PARCEL IDENTIFICATION: ASSESSORS MAP 69 - PART OF LOT 44, SCHOOL TRACT IV
2. TOTAL LOT AREA: 30.81 ACRES
3. PROJECT AREA: 2.25 ACRES
4. EXISTING IMPERVIOUS BUILDING AREA: 20,272 S.F.
5. EXISTING IMPERVIOUS PARKING AREA: 11,172 S.F.
6. TOTAL EXISTING IMPERVIOUS AREA: 31,444 S.F.
7. PROPOSED USE: 8 PICKLEBALL COURTS WITH PARKING
11. PROPOSED IMPERVIOUS PICKLEBALL COURT AREA: 20,193 S.F.
11. PROPOSED IMPERVIOUS PARKING AND SIDEWALK AREA: 7,471 S.F.
12. TOTAL PROPOSED IMPERVIOUS AREA: 27,664 S.F.
13. TOTAL SITE AREA DISTURBED: 44,424 S.F. (1.02 ACRES)
14. PARKING:

EXISTING	REQUIRED	PROPOSED
+16 SPACES (NOT STRIPED)	1 SPACE/ 3 PEOPLE	11 SPACES (4 PEOPLE/COURT)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SITE LAYOUT. THE CONTRACTOR SHALL MAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE AS-BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES, AND INVERTS. AS-BUILT PLANS SHOWING ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED SHALL BE REVIEWED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE ANY CORRECTIONS OR ADDITIONS TO THE SATISFACTION OF THE ENGINEER AND TOWN BEFORE UTILITIES WILL BE ACCEPTED.

2. THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS BETWEEN NEW WORK AND EXISTING CONDITIONS.

3. ALL ANGLES ARE 90°, UNLESS OTHERWISE INDICATED.

587° 12' 50"W

CBS
RIM: 26.45

RB RAMP

6" CBS
RIM: 26.53

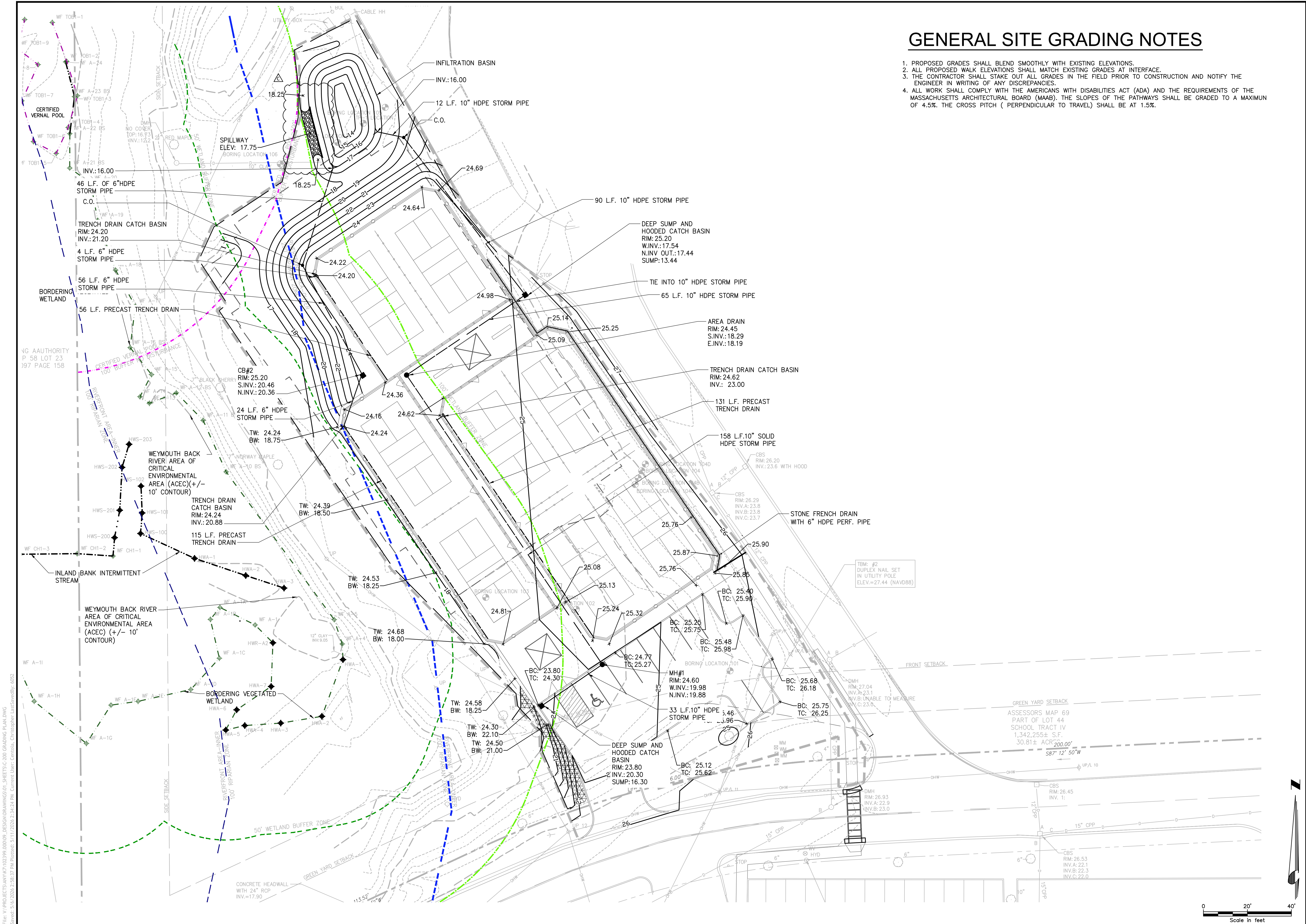
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

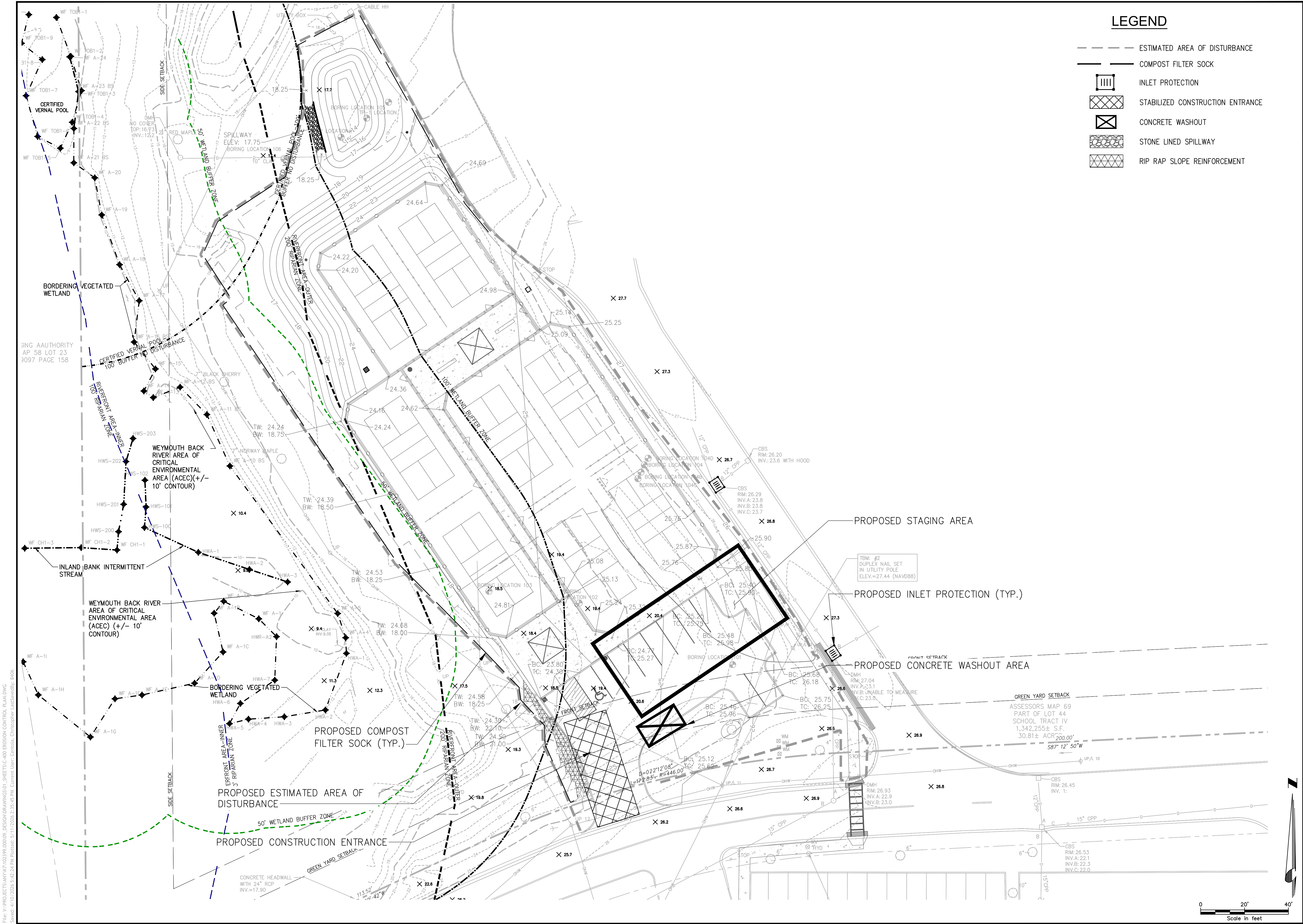
Submittal / Revision	Appr	By	Date
PERMITTING REVISIONS	MSM	CAC	05/11/20
PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/20
CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/20
PERMIT SET	MSM	CAC	013/26/20

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

C-200

1. PROPOSED GRADES SHALL BLEND SMOOTHLY WITH EXISTING ELEVATIONS.
2. ALL PROPOSED WALK ELEVATIONS SHALL MATCH EXISTING GRADES AT INTERFACE.
3. THE CONTRACTOR SHALL STAKE OUT ALL GRADES IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.
4. ALL WORK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE REQUIREMENTS OF THE MASSACHUSETTS ARCHITECTURAL BOARD (MAAB). THE SLOPES OF THE PATHWAYS SHALL BE GRADED TO A MAXIMUM OF 4.5%. THE CROSS PITCH (PERPENDICULAR TO TRAVEL) SHALL BE AT 1.5%.





LEGEND

- ESTIMATED AREA OF DISTURBANCE
- COMPOST FILTER SOCK
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- STONE LINED SPILLWAY
- RIP RAP SLOPE REINFORCEMENT

CHA
1 Washington Mall, Suite 1500
Boston, MA 02108
617.451.2717 | www.chasolutions.com

TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER AN ITEN IN ANY WAY. IF AN ITEN BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

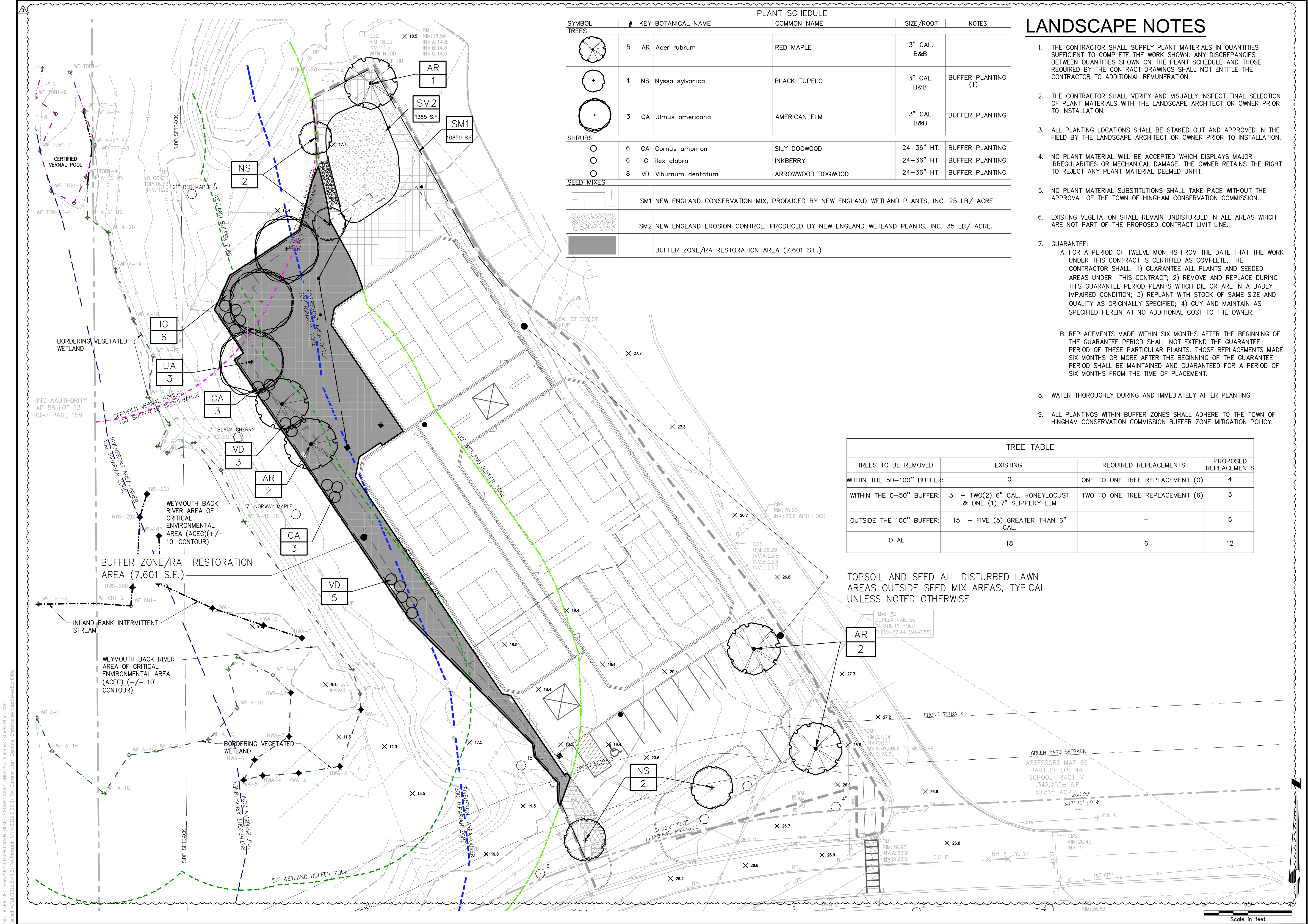
CARLSON COMPLEX PICKLEBALL COURTS

No.	Submittal / Revision	App	By	Date
A	PERMITTING REVISIONS	MSM	CAC	05/11/26
A	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
B	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
A	PERMIT SET	MSM	CAC	013/26/26

EROSION CONTROL PLAN

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

Drawing No.:
C-400



LANDSCAPE NOTES

1. THE CONTRACTOR SHALL SUPPLY PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN. ANY DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE REQUIRED BY THE CONTRACT DRAWINGS SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION.
2. THE CONTRACTOR SHALL VERIFY AND VISUALLY INSPECT FINAL SELECTION OF PLANT MATERIALS WITH THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
3. ALL PLANTING LOCATIONS SHALL BE STAKED OUT AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
4. NO PLANT MATERIAL WILL BE ACCEPTED WHICH DISPLAYS MAJOR IRREGULARITIES OR MECHANICAL DAMAGE. THE OWNER RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNFIT.
5. NO PLANT MATERIAL SUBSTITUTIONS SHALL TAKE PACE WITHOUT THE APPROVAL OF THE TOWN OF HINGHAM CONSERVATION COMMISSION..
6. EXISTING VEGETATION SHALL REMAIN UNDISTURBED IN ALL AREAS WHICH ARE NOT PART OF THE PROPOSED CONTRACT LIMIT LINE.
7. GUARANTEE:
 - A. FOR A PERIOD OF TWELVE MONTHS FROM THE DATE THAT THE WORK UNDER THIS CONTRACT IS CERTIFIED AS COMPLETE, THE CONTRACTOR SHALL: 1) GUARANTEE ALL PLANTS AND SEEDED AREAS UNDER THIS CONTRACT; 2) REMOVE AND REPLACE DURING THIS GUARANTEE PERIOD PLANTS WHICH DIE OR ARE IN A BADLY IMPAIRED CONDITION; 3) REPLANT WITH STOCK OF SAME SIZE AND QUALITY AS ORIGINALLY SPECIFIED; 4) GUY AND MAINTAIN AS SPECIFIED HEREIN AT NO ADDITIONAL COST TO THE OWNER.
 - B. REPLACEMENTS MADE WITHIN SIX MONTHS AFTER THE BEGINNING OF THE GUARANTEE PERIOD SHALL NOT EXTEND THE GUARANTEE PERIOD OF THESE PARTICULAR PLANTS. THOSE REPLACEMENTS MADE SIX MONTHS OR MORE AFTER THE BEGINNING OF THE GUARANTEE PERIOD SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF SIX MONTHS FROM THE TIME OF PLACEMENT.
8. WATER THOROUGHLY DURING AND IMMEDIATELY AFTER PLANTING.
9. ALL PLANTINGS WITHIN BUFFER ZONES SHALL ADHERE TO THE TOWN OF HINGHAM CONSERVATION COMMISSION BUFFER ZONE MITIGATION POLICY.

TREE TABLE			
TREES TO BE REMOVED	EXISTING	REQUIRED REPLACEMENTS	PROPOSED REPLACEMENTS
WITHIN THE 50-100" BUFFER:	0	ONE TO ONE TREE REPLACEMENT (0)	4
WITHIN THE 0-50" BUFFER:	3 - TWO(2) 6" CAL. HONEYLOCUST & ONE (1) 7" SLIPPERY ELM	TWO TO ONE TREE REPLACEMENT (6)	3
OUTSIDE THE 100" BUFFER:	15 - FIVE (5) GREATER THAN 6" CAL.	-	5
TOTAL	18	6	12



1 Washington Mall, Suite 1500
Boston, MA 02108
617.451.2717 • www.chasolutions.com



TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE SIGNING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

CARLSON COMPLEX PICKLEBALL COURTS

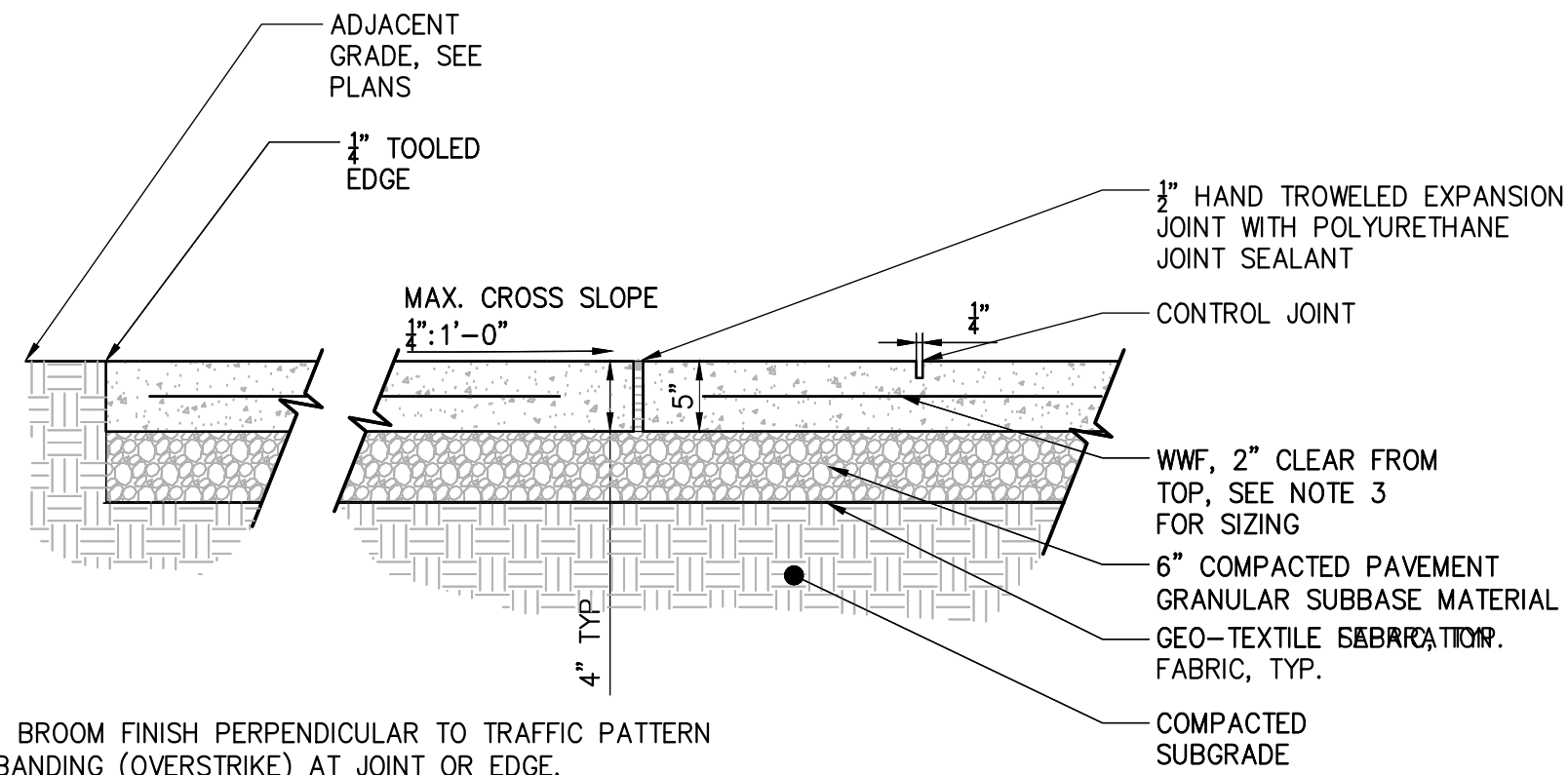
No.	Submitted / Revision	Appr	By	Date
△	PERMITTING REVISIONS	MSM	CAC	05/11/26
△	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
△	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
△	PERMIT SET	MSM	CAC	013/26/26

LANDSCAPE PLAN

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

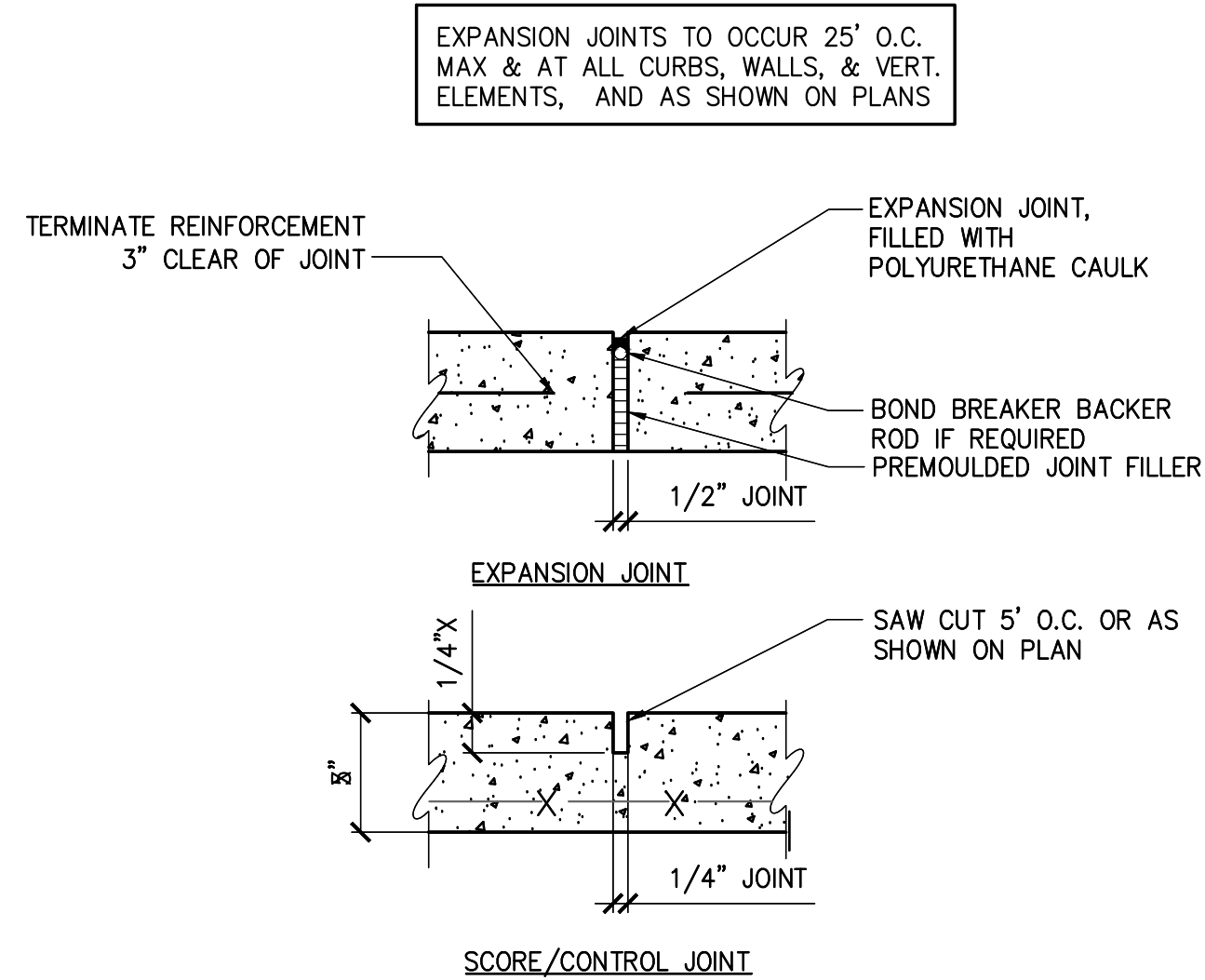
Drawing No.:
C-500

FILE: Y:\PROJECTS\NYC\7102399.000\09 - DESIGN\DRAWINGS\01 - SHEETS\C-600 DETAILS.DWG
Saved: 5/6/2026 9:54:43 PM Plotdate: 5/11/2026 9:43:24 PM, Current User: Corinda, Christopher LastSavedBy: 6032

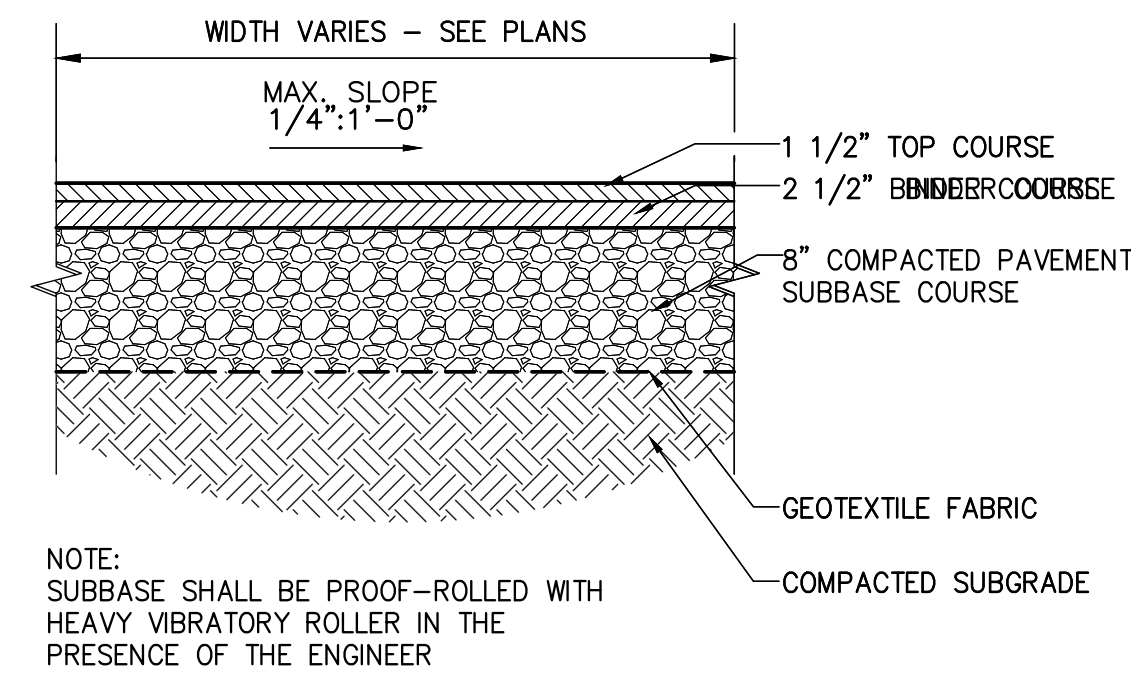


- NOTES:
1. MED. BROOM FINISH PERPENDICULAR TO TRAFFIC PATTERN
 2. NO BANDING (OVERSTRIKE) AT JOINT OR EDGE.
 3. PROVIDE W2.9 X W2.9 AT 4" THICK CONCRETE
 4. CONCRETE TO BE 4,000psi UNLESS NOTED OTHERWISE
 5. SUBBASE SHALL BE PROOF ROLLED WITH HEAVY VIBRATORY ROLLER IN THE PRESENCE OF THE ENGINEER

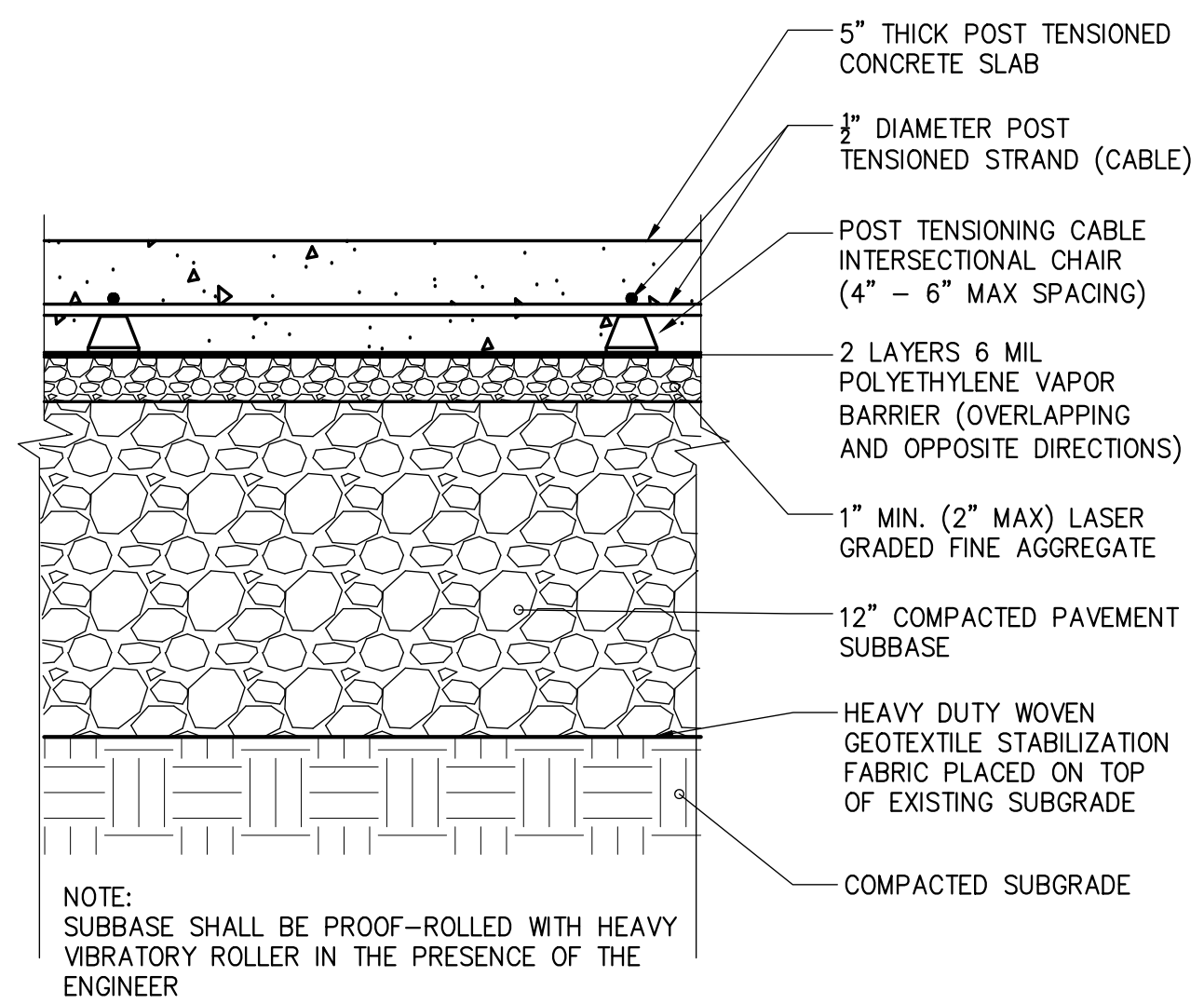
1 CONCRETE PAVEMENT
SCALE:



2 CONCRETE PAVEMENT JOINTS
SCALE:



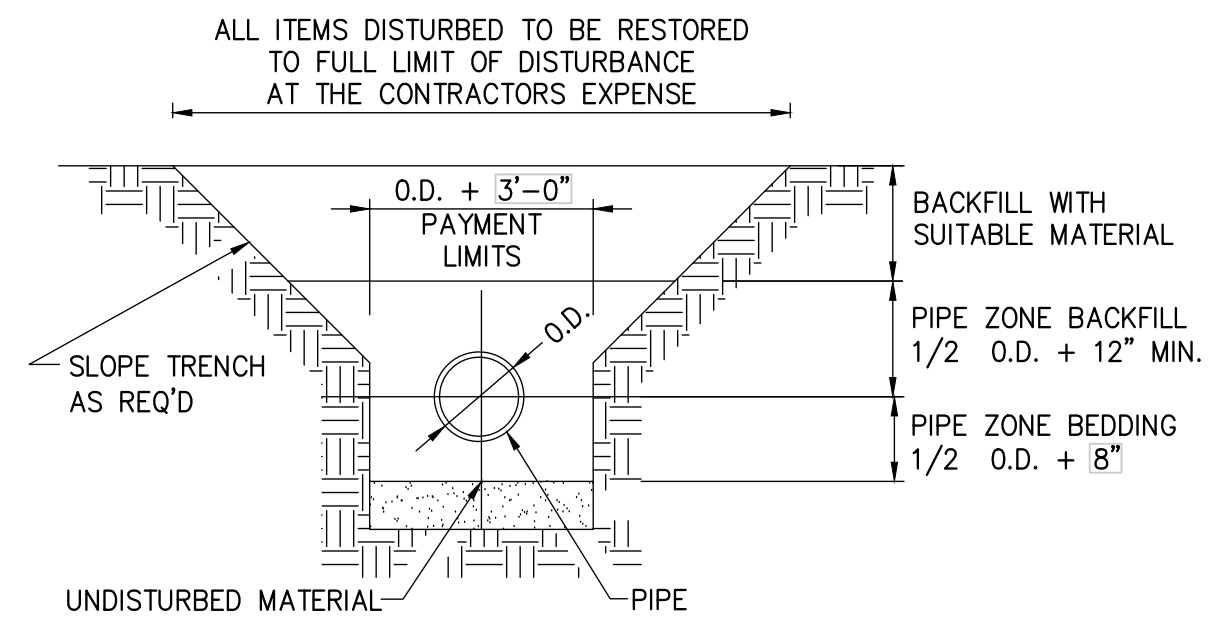
3 HEAVY DUTY ASPHALT PAVEMENT (ALL ASPHALT)
SCALE:



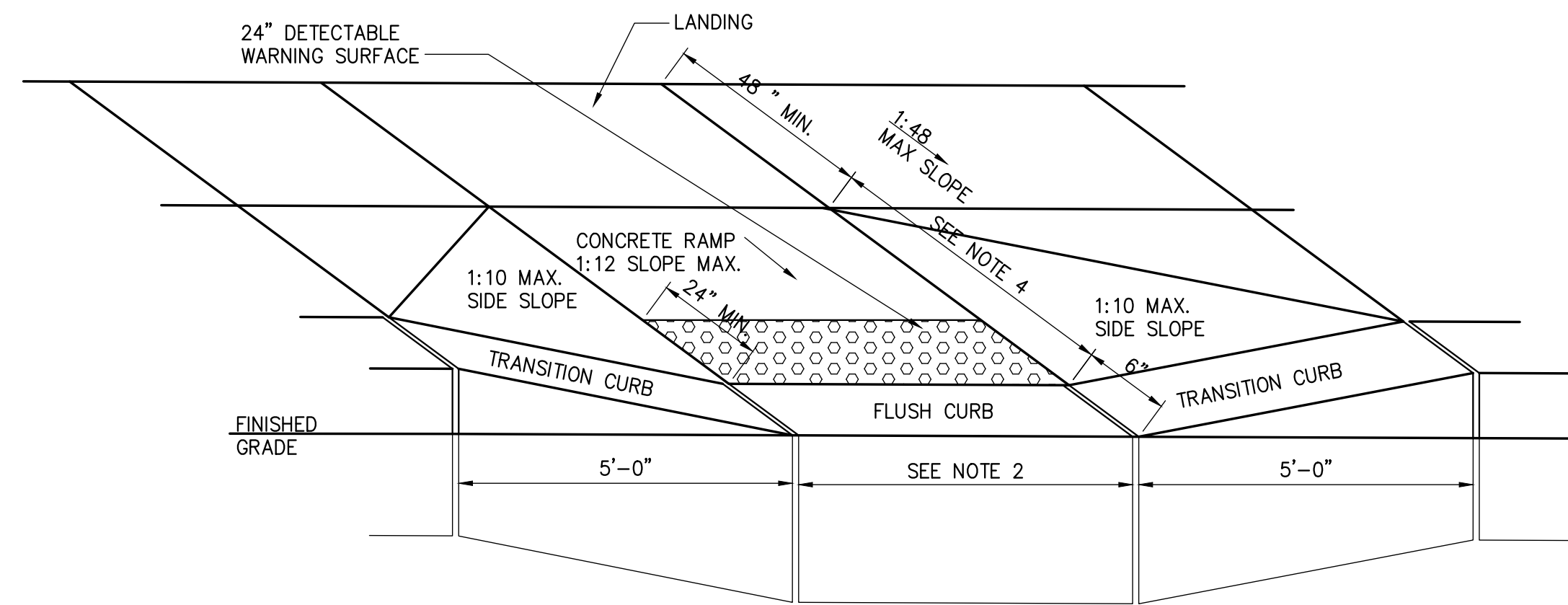
4 POST-TENSIONED CONCRETE COURT SECTION
SCALE: NTS

NOTES:

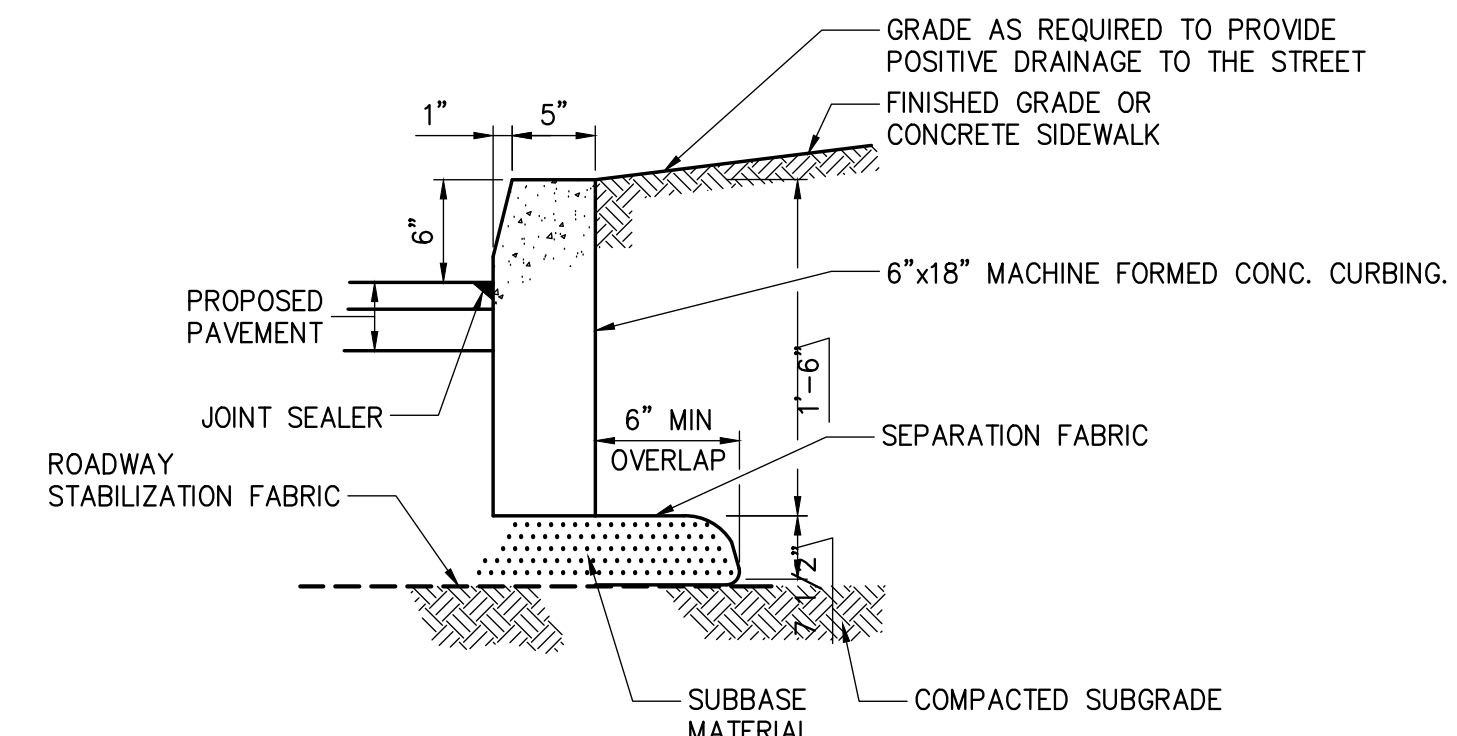
1. TRANSITION AND FLUSH SECTIONS SHALL BE CUT STRAIGHT OR TO THE PROPER RADIUS AS DESIGNATED ON PLANS.
2. FLUSH CURB SECTIONS ARE 5'-0" LENGTH TYPICAL EXCEPT WHERE NOTED OTHERWISE ON PLANS. FLUSH CURB SECTIONS ARE TO MEET LEVEL WITH ASPHALT PAVEMENT SURFACES WITH NO REVEAL.
3. PROVIDE HEAVY BROOM FINISH ON ALL CONCRETE RAMP SURFACES WITH THE EXCEPTION OF THE DETECTABLE WARNING AREA.
4. LENGTH OF RAMP SHALL BE AS REQUIRED TO MAINTAIN A 1:12 SLOPE.
5. DETECTABLE WARNING SURFACE TO COVER THE FIRST 24" OF RAMP SURFACE FOR FULL WIDTH OF RAMP.



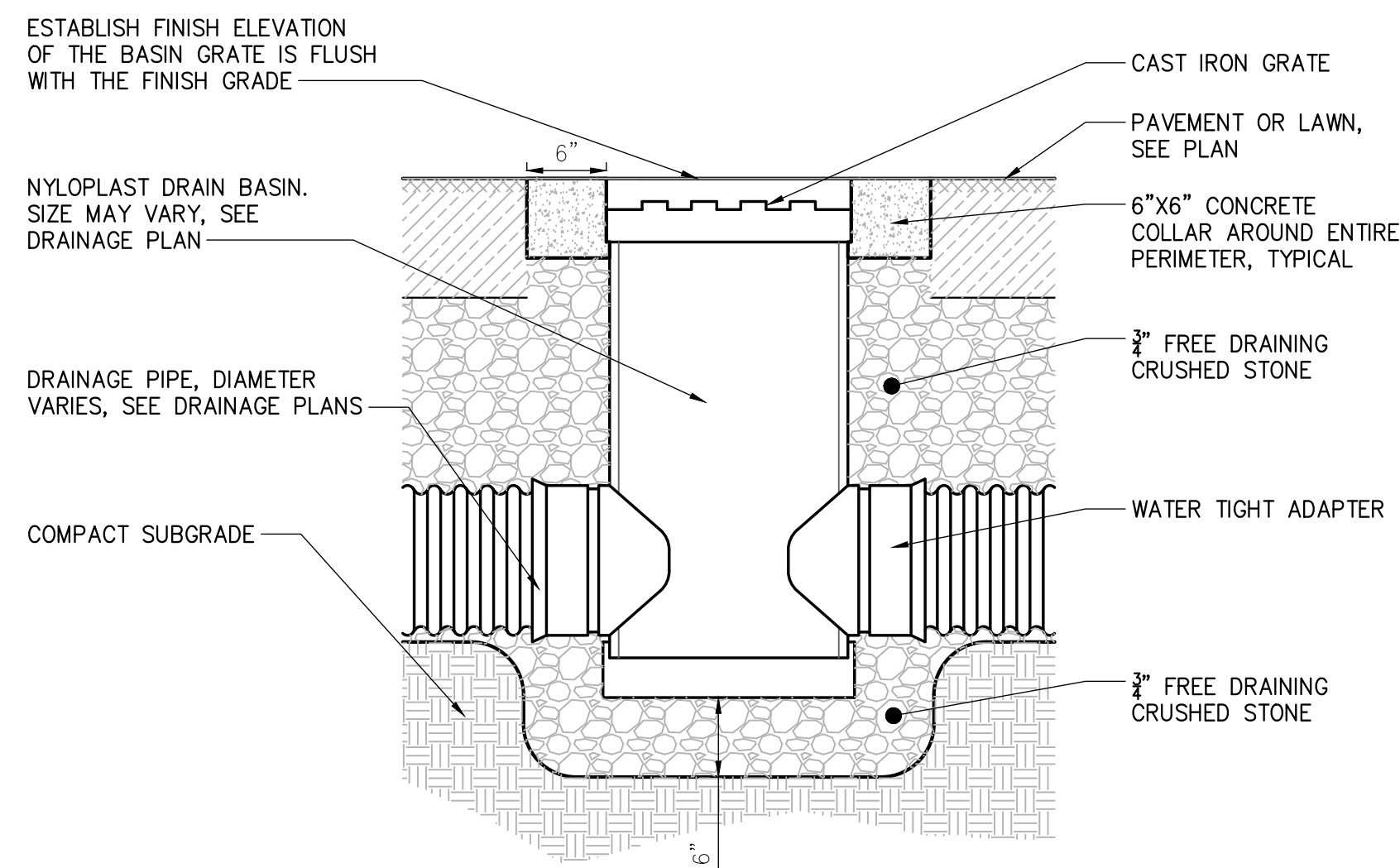
5 TYPICAL STORM TRENCH DETAIL
SCALE:



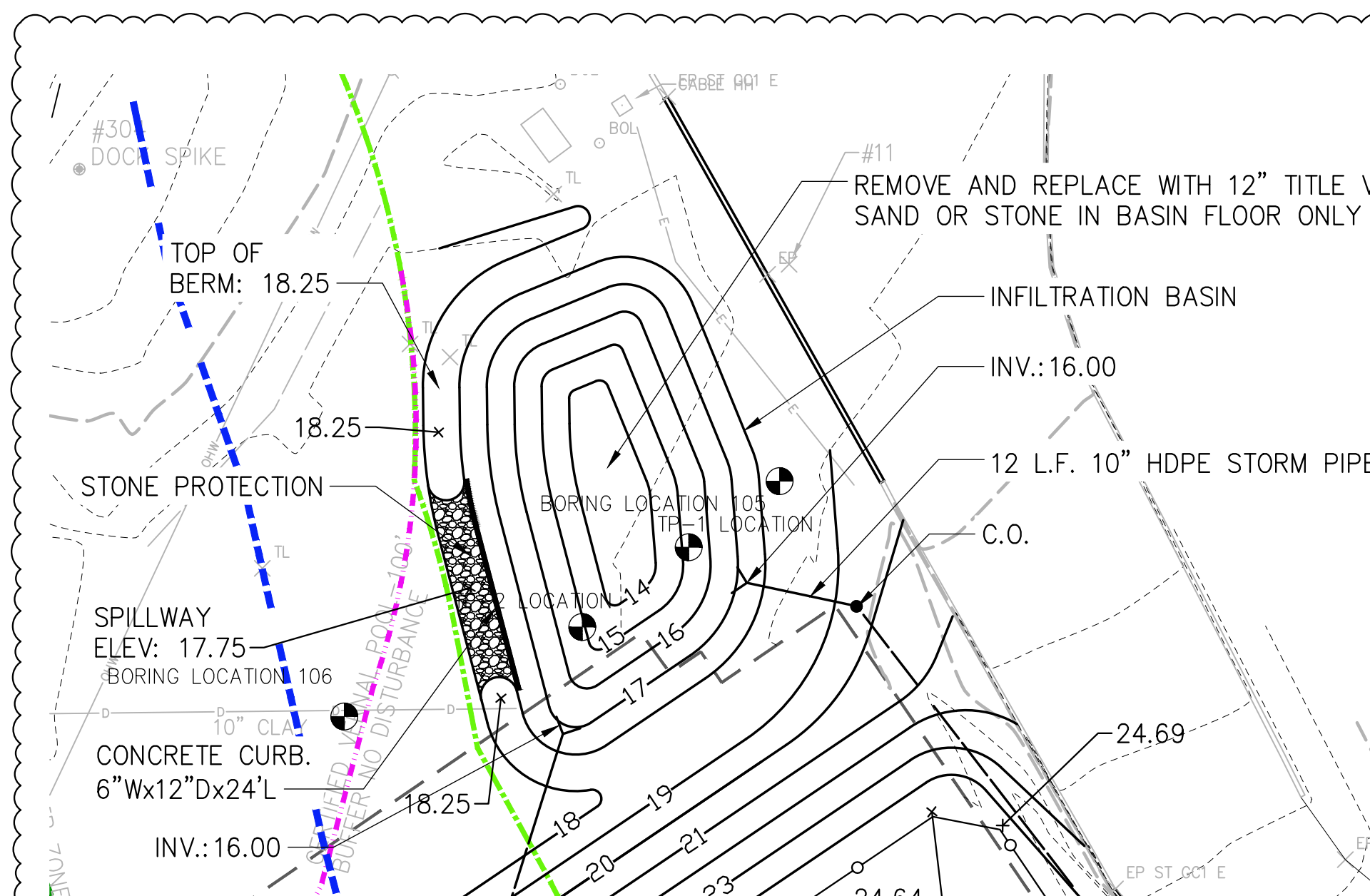
6 CURB RAMP DETAIL
SCALE:



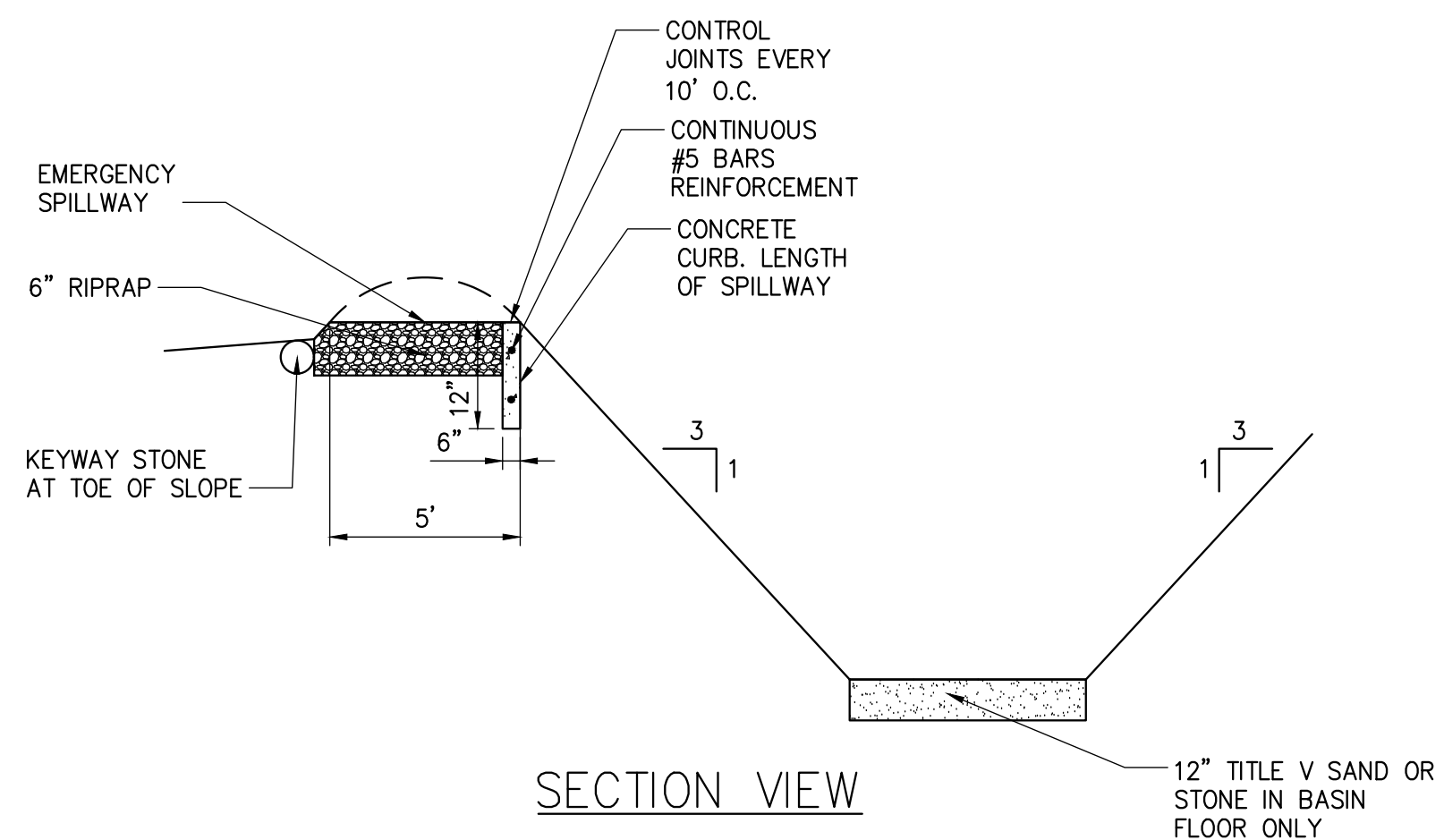
7 CAST IN PLACE CONCRETE CURB
SCALE: N.T.S.



8 AREA DRAIN
SCALE:



9 INFILLTRATION BASIN DETAIL
SCALE: 1"=15'



TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

CARLSON COMPLEX
PICKLEBALL COURTS

No.	Submittal / Revision	App	By	Date
Δ	PERMITTING REVISIONS	MSM	CAC	05/11/26
Δ	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
Δ	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
Δ	PERMIT SET	MSM	CAC	013/26/26

DETAILS

Designed By:	Drawn By:	Checked By:
CAC	CAC	MSM
Issue Date:	Project No.:	Scale:
3/26/26	102399	AS SHOWN

Drawing No.:

C-600



TOWN OF HINGHAM
210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER IN ANY WAY, IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**CARLSON COMPLEX
PICKLEBALL COURTS**

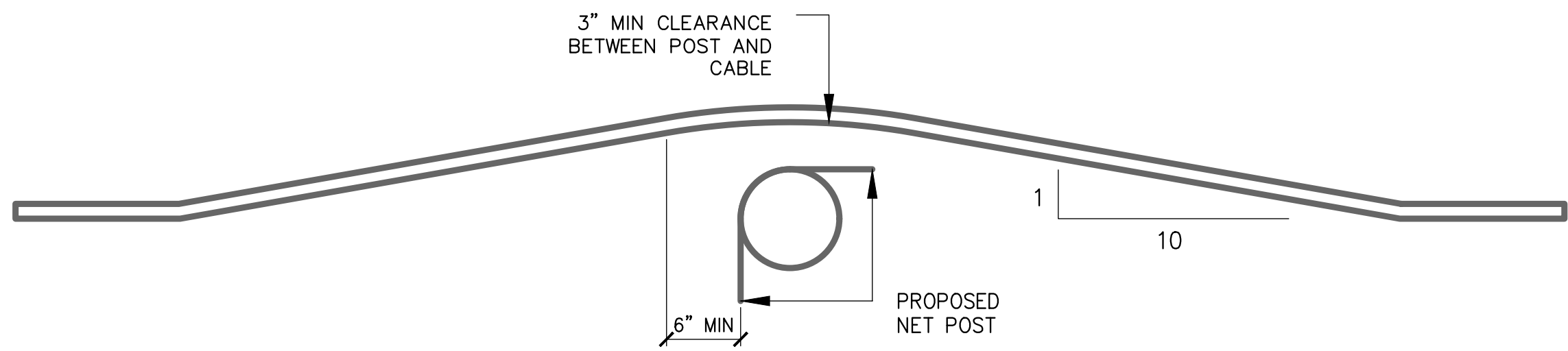
No.	Submittal / Revision	Appr	By	Date
A	PERMITTING REVISIONS	MSM	CAC	05/11/26
A	PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/26
B	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
A	PERMIT SET	MSM	CAC	013/26/26

DETAILS

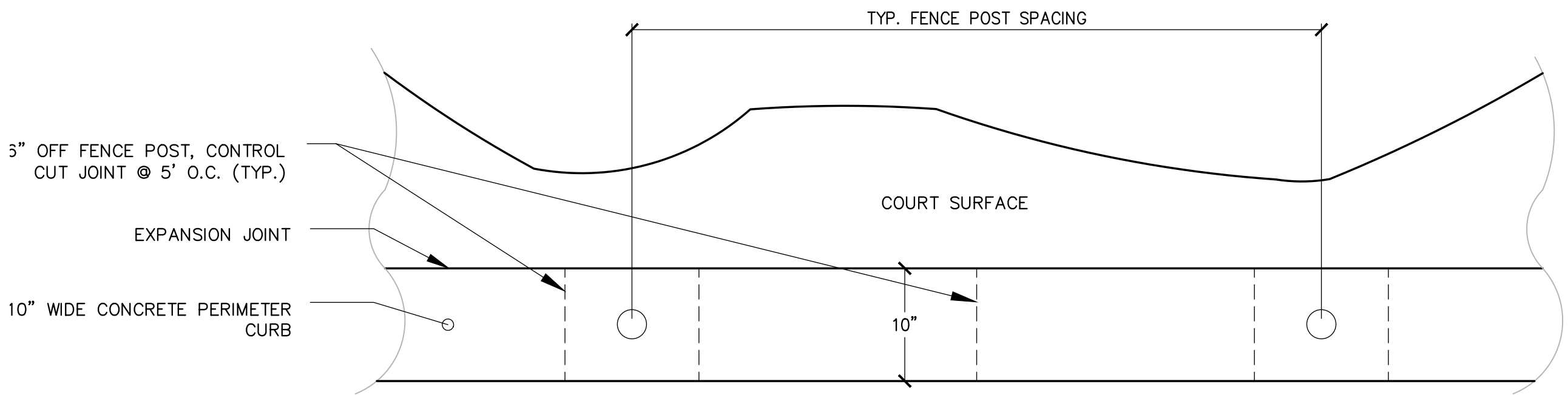
Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

Drawing No.:

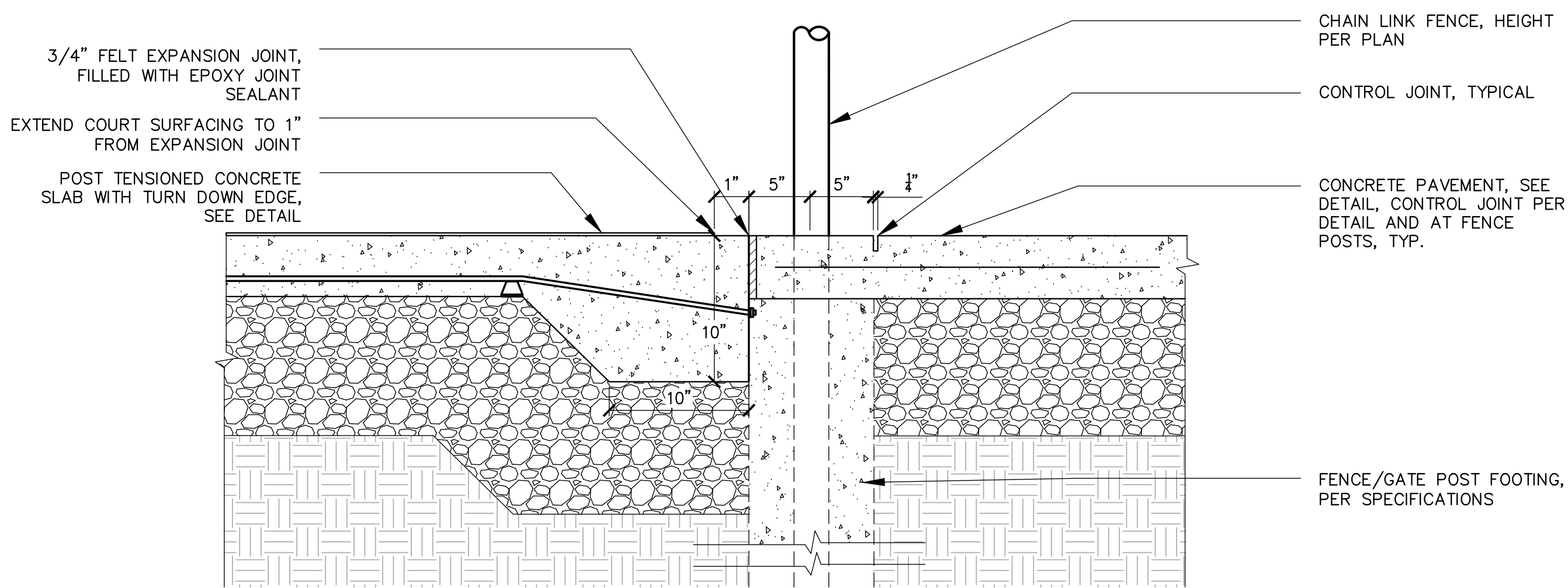
C-601



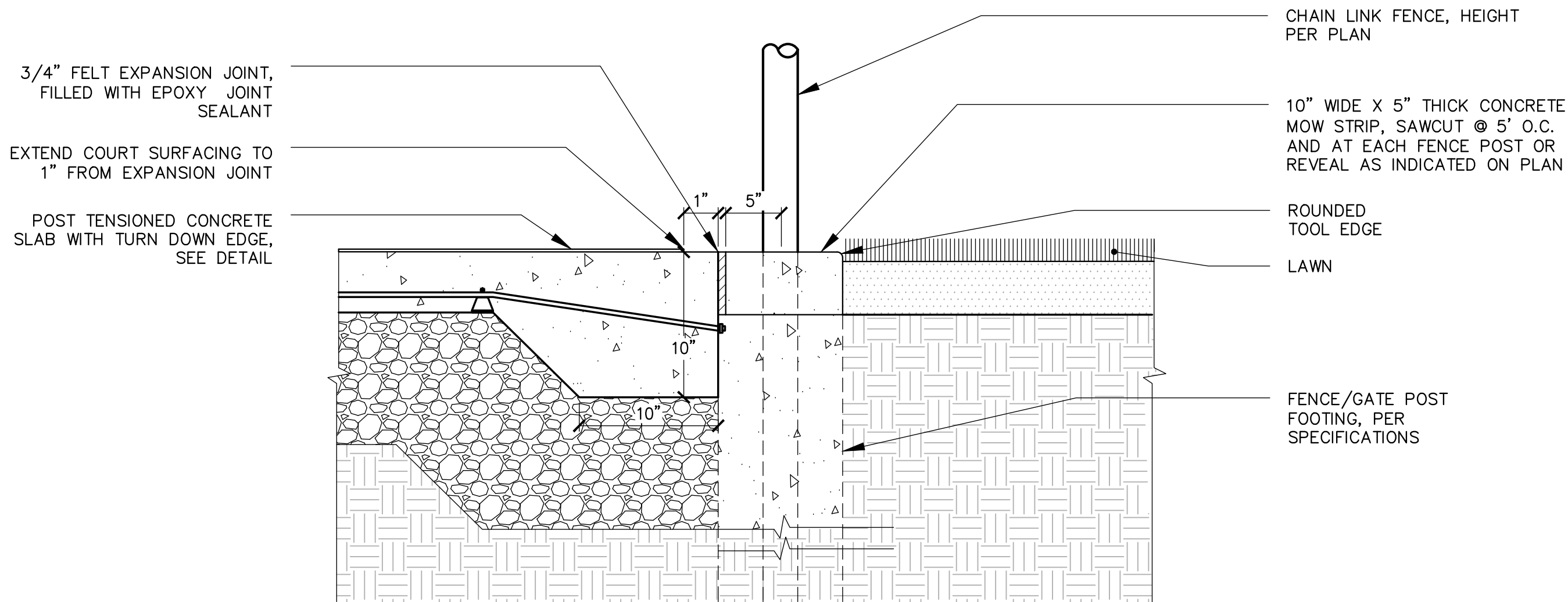
1 CABLE/POST WRAPPING DETAIL
SCALE:



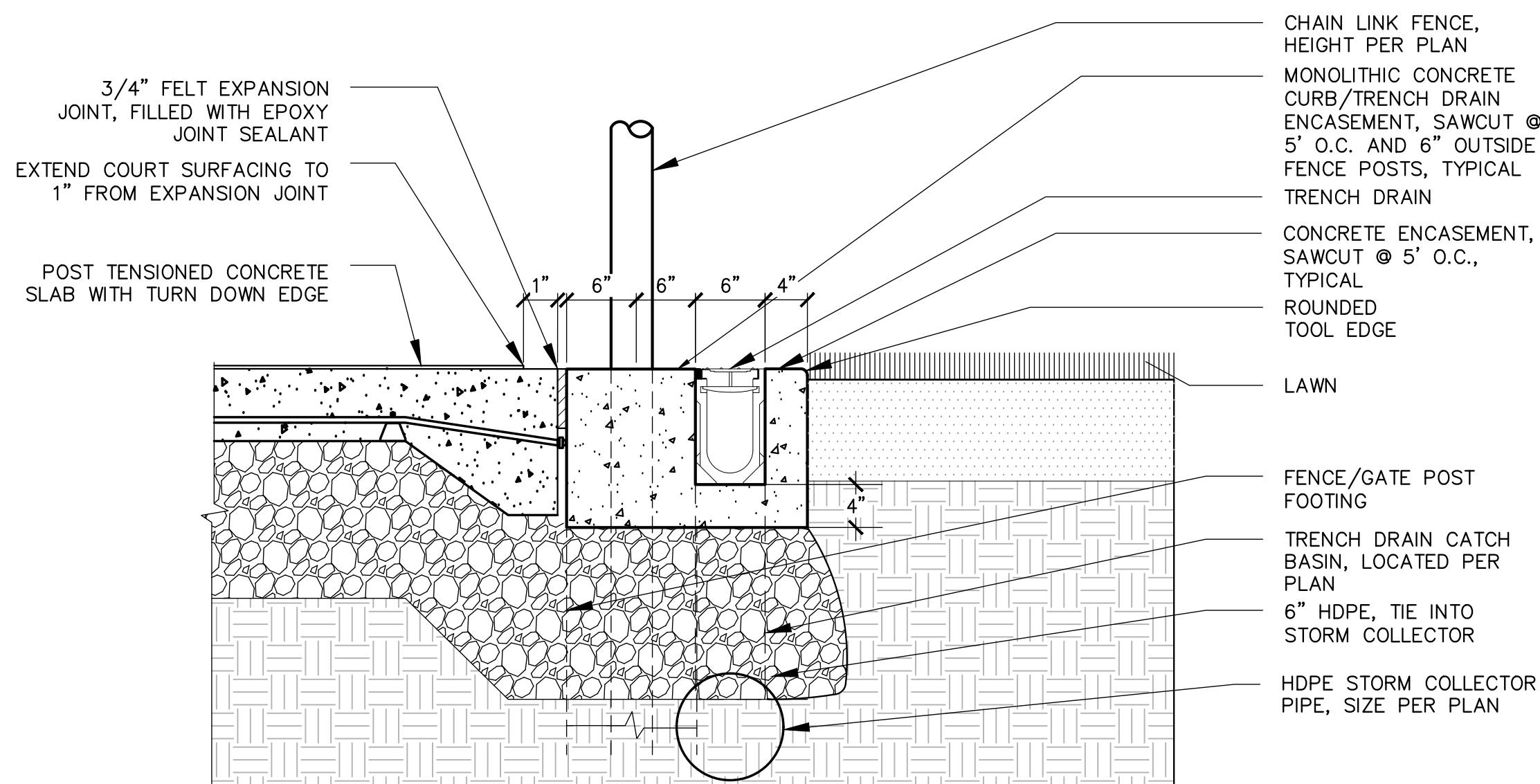
2 PICKLEBALL COURT PERIMETER @ FENCE (PLAN VIEW)
SCALE:



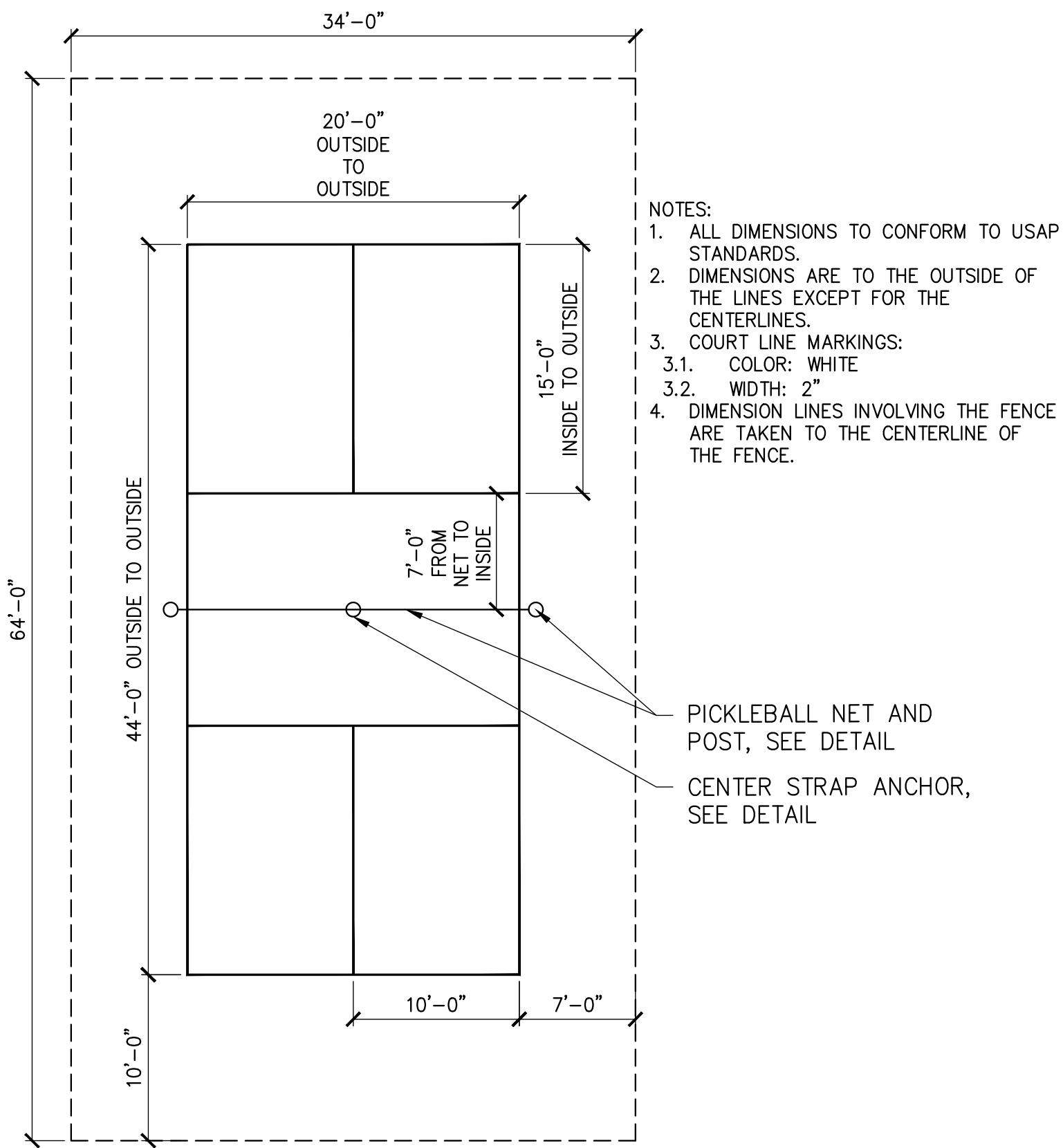
3 PICKLEBALL COURT PERIMETER @ FENCE AND CONCRETE PAVEMENT
SCALE:



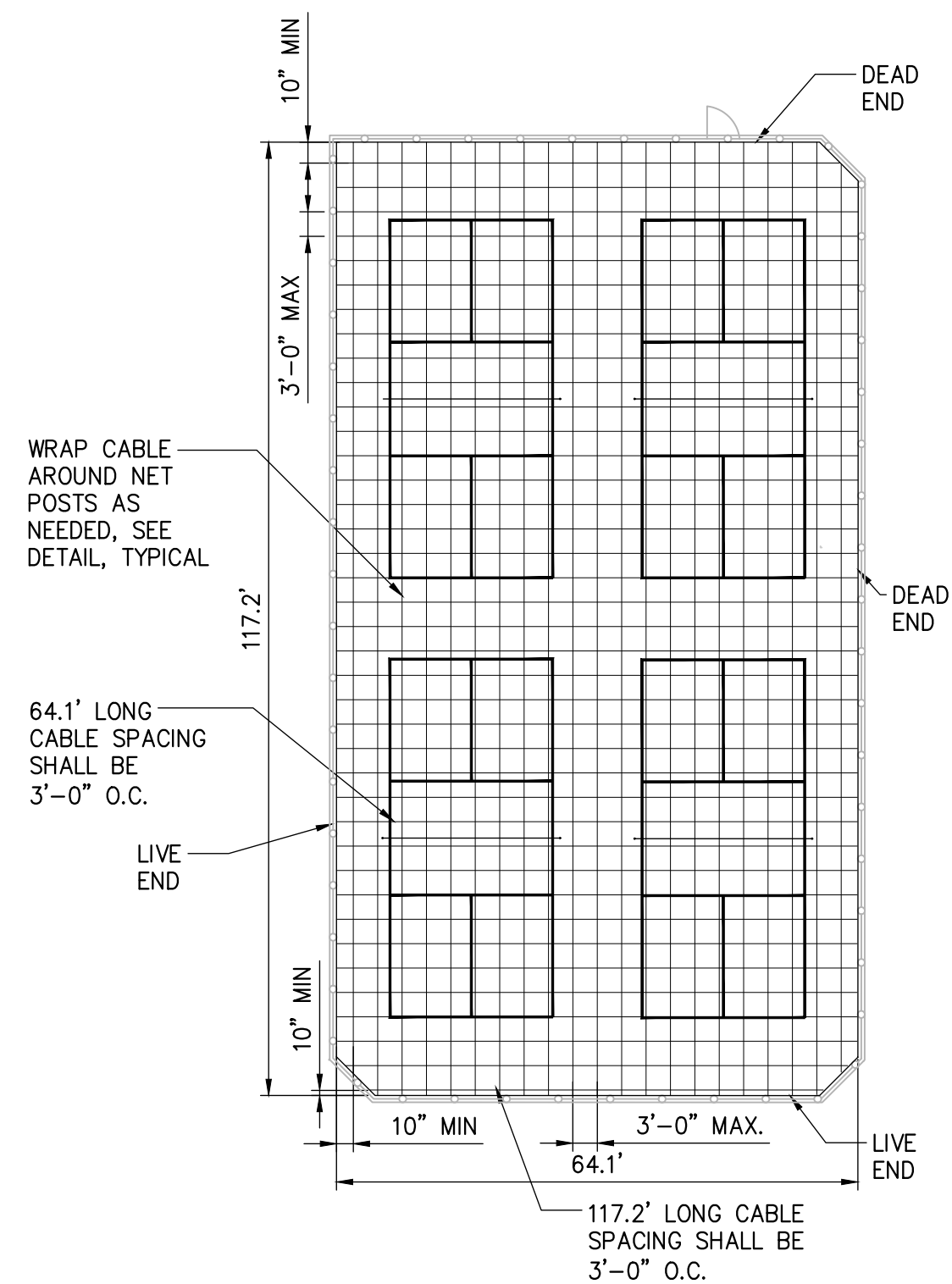
4 COURT PERIMETER @ FENCE AND LAWN
SCALE:



5 PICKLEBALL COURT PERIMETER @ FENCE AND TRENCH DRAIN
SCALE:



6 TYPICAL PICKLEBALL LAYOUT
SCALE:



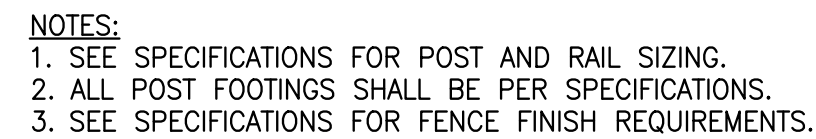
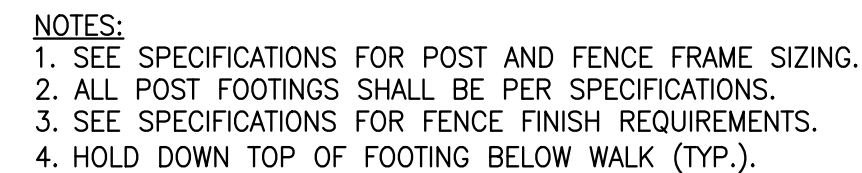
7 COURT POST-TENSIONED CABLE DESIGN
SCALE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Submittal / Revision	Appr	By	Date
PERMITTING REVISIONS	MSM	CAC	05/11/2016
PERMITTING REVIEW REVISIONS	MSM	CAC	05/6/2016
CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/2016
PERMIT SET	MSM	CAC	013/26/2016

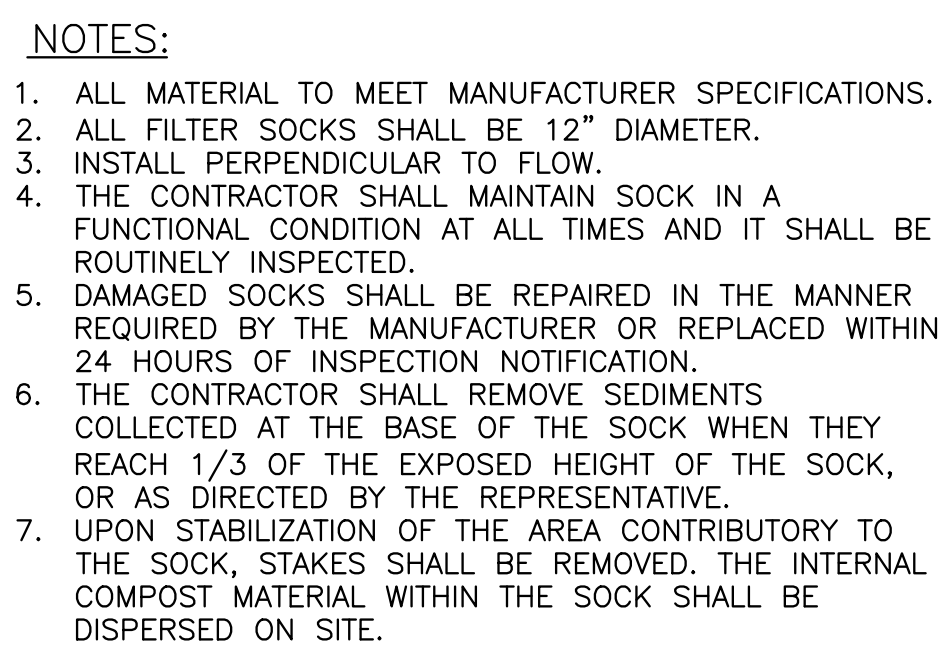
Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

C-602



- 5 15' HIGH FENCE SOUND ATTENUATION FABRIC
SCALE: N.T.S.





SCALE:



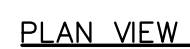
NOTES:

1. REMOVE ACCUMULATED SEDIMENT WHEN CAPACITY IS REDUCED BY HALF OR PER MANUFACTURER'S RECOMMENDATIONS.
2. CATCH BASIN INSERT TO BE SILTSACK BY ACF ENVIRONMENTAL, PHONE: 1-800-448-3636, acfenvironmental.com OR EQUIVALENT.
3. INSTALL ON ALL EXISTING CATCH BASINS WITHIN MAIN STREET AND ON SITE. INSTALL ON ALL PROPOSED CATCH BASINS AFTER STRUCTURE INSTALLATION.

SCALE:



SCALE:



1. STONE SIZE-USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. THICKNESS--NOT LESS THAN 12".
3. WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
4. MAINTENANCE--THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS--OF--WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS--OF--WAY MUST BE REMOVED IMMEDIATELY.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SCALE:



NOTES:

1. TRUNK ARMORING SHALL ONLY BE USED FOR PROTECTING TREES IN A CONSTRUCTION AREA WHERE PAVED SURFACES MAKE IT IMPRACTICAL TO ESTABLISH TREE FENCING.
2. PROVIDE TREE PROTECTION 5' OUTSIDE OF DRIPLINE WHERE INDICATED.



6

SCALE:



GENERAL NOTES:
UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED TO ONLY SUPPORT WHAT IS SHOWN ON THESE DRAWINGS. THE MANUFACTURER MUST BE CONTACTED IF ANYTHING ELSE IS TO BE ATTACHED TO THIS STRUCTURE (WALLS, COLUMN WRAPS, RAILINGS, ETC.) SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

UNLESS NOTED OTHERWISE, THIS STRUCTURE WAS DESIGNED ASSUMING A 20' SEPARATION BETWEEN ANY ADJACENT STRUCTURE WITH AN EAVE HEIGHT EQUAL TO OR GREATER THAN THE EAVE HEIGHT OF THIS STRUCTURE. IF THAT SEPARATION DOES NOT EXIST, THE MANUFACTURER MUST BE CONTACTED SO THE DESIGN OF THIS STRUCTURE CAN BE REVIEWED AND POSSIBLY REVISED.

STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) SPECIFICATION MANUAL.

ALL WELDING IS PERFORMED BY AMERICAN WELDING SOCIETY (AWS) CERTIFIED WELDERS AND CONFORMS TO THE LATEST EDITION OF AWS D1.1 OR D1.3 AS REQUIRED.

PARTS SHOWN MAY BE UPGRADED DUE TO STANDARDIZED FABRICATION. REFER TO THE SHIPPING BILL OF MATERIALS FOR POSSIBLE SUBSTITUTIONS.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT THE PRIMARY FRAME INSTALLER AND THE ROOF INSTALLER HAVE A MINIMUM FIVE (5) YEARS DOCUMENTED EXPERIENCE INSTALLING THIS TYPE OF PRODUCT.

FOR PROPER FIELD INSTALLATION OF THE BUILDING IT IS RECOMMENDED THAT ELECTRIC WIRING, IF REQUIRED, BE RUN THROUGH THE STRUCTURAL MEMBERS BEFORE THE BUILDING IS ERECTED.

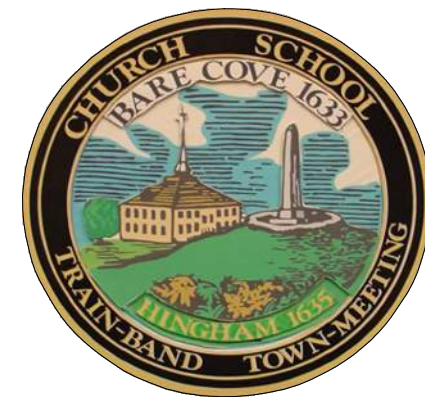


1. METAL ROOFING:
 - 24 GAUGE
 - GALVALUME COATED
 - KYNAR 500 PAINTED
2. TRIM COLOR MATCHES ROOF
3. SEE POLIGON.COM FOR COLOR OPTIONS



7

SCALE:



TOWN OF HINGHAM

210 Central Street
Hingham, MA 02043

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

CARLSON COMPLEX
PICKLEBALL COURTS

No.	Submittal / Revision	Apv	By	Date
	PERMITTING REVISIONS	MSM	CAC	05/11/26
	PERMITTING REVIEW REVISIONS	MSM	CAC	05/16/26
	CONSERVATION COMMISSION REVISIONS	MSM	CAC	04/10/26
	PERMIT SET	MSM	CAC	013/26/26

DETAILS

Designed By: CAC	Drawn By: CAC	Checked By: MSM
Issue Date: 3/26/26	Project No.: 102399	Scale: AS SHOWN

Drawing No.:

C-603

