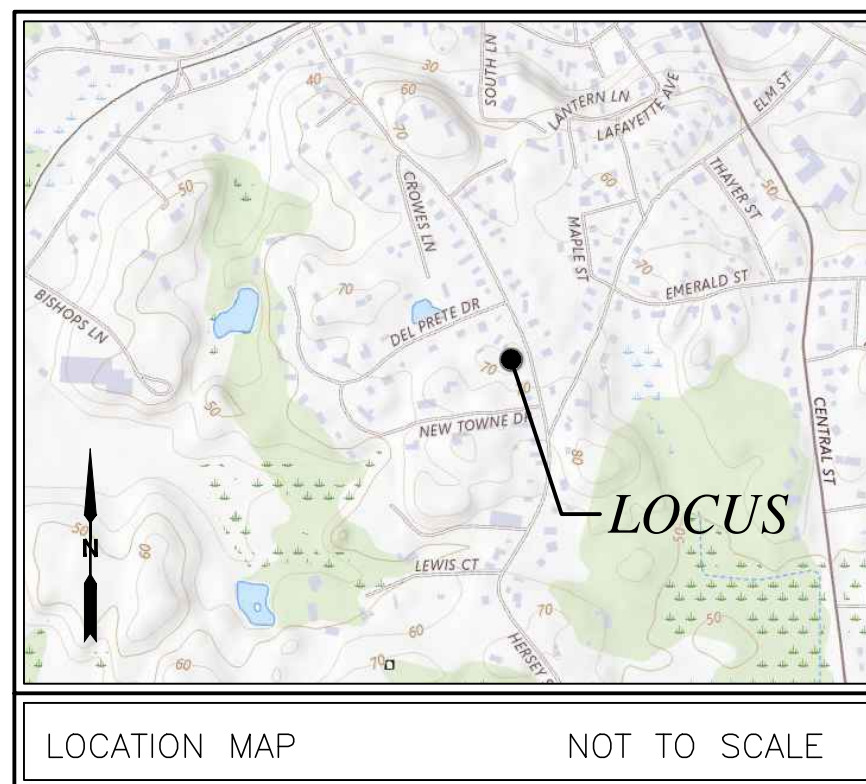






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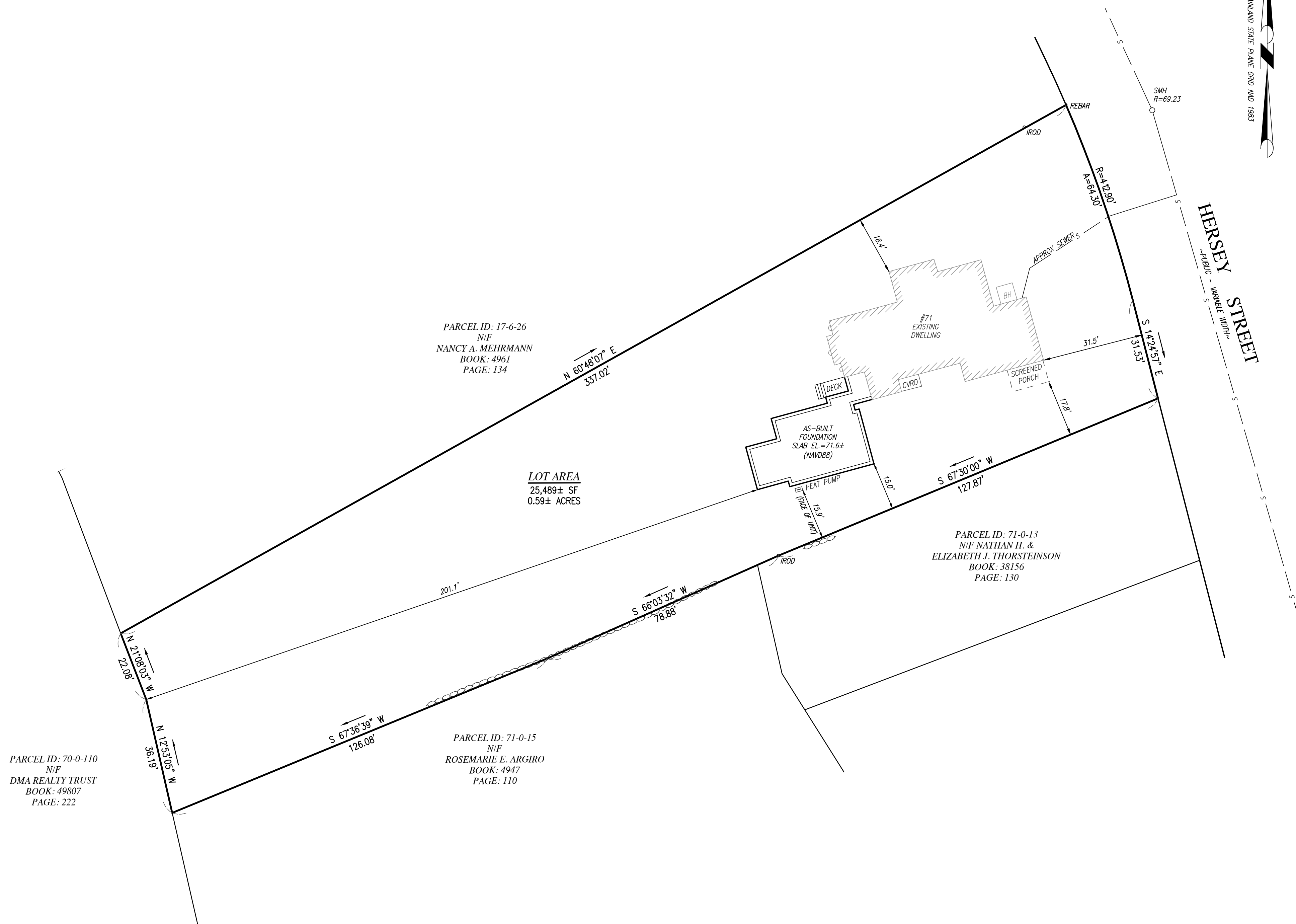
PARCEL ID: 71-0-12
#71 HERSEY STREET
J. ROBERT ROGERS, JR & ELLEN N. ROGERS
71 HERSEY STREET
HINGHAM, MA 02043
DEED BOOK 28518 PAGE 32

NOTES:

1. PLAN REFERENCES:
 - 1.1. PLAN BOOK 6, PAGE 612
 - 1.2. PLAN BOOK 6, PAGE 272
 - 1.2. PLAN 921 OF 1984, SHEET 2 OF 13
2. AS-BUILT INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS ON FEBRUARY 10, 2026.
3. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
4. NO WETLAND RESOURCE AREAS OBSERVED BY MERRILL ENGINEERS AND LAND SURVEYORS.
5. SUBJECT SITE IS IN THE "RESIDENCE A" DISTRICT AS DEPICTED ON THE TOWN OF HINGHAM ZONING MAP.
6. EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ENGINEERS AND LAND SURVEYORS DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
7. EXISTING SEWER COMPONENTS SHOWN HEREON TAKEN FROM RECORD AS-BUILT PLAN ON FILE WITH THE TOWN OF HINGHAM.

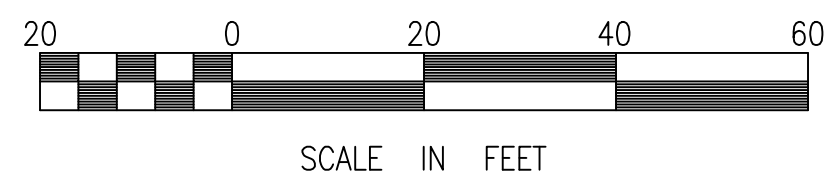
FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25023C0082K, WHICH BEARS AN EFFECTIVE DATE OF JULY 3, 2024, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



<u>ZONING REQUIREMENTS</u>		
RESIDENCE DISTRICT "A"		
	<u>REQUIRED</u>	<u>AS-BUILT</u>
AREA	20,000 SF	25,489 SF
FRONTAGE	125 FEET	95.83 FEET
MINIMUM YARDS:		
FRONT	25 FEET*	31.5 FEET
SIDE	15 FEET	15.0 FEET
REAR	15 FEET	201.1 FEET

* IN ALL RESIDENCE DISTRICTS, THE FRONT SETBACK MAY BE AS NEAR THE STREET AS THE AVERAGE OF THE BUILDINGS OR STRUCTURES IN THE ADJOINING LOTS.



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REVISIONS:

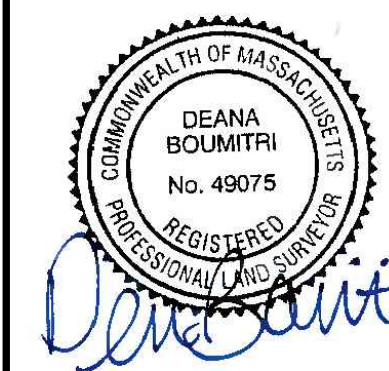
DRAWN BY:

DESIGNED BY:

CHECKED BY:

SCALE:

STAMP:



427 Columbia Road
Hanover, MA 02339
781-826-9200

362 Court Street
Plymouth, MA 02360
508-746-6060

Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

448 N. Falmouth Hwy, Unit A
North Falmouth, MA 02556
508-563-2183

PROJECT #:

24-346

PROJECT:

*AS-BUILT
PLAN*

#71 HERSEY STREET
PARCEL ID: 71-0-12
HINGHAM, MASSACHUSETTS

CLIENT:
BOB ROGERS
71 HERSEY STREET
HINGHAM, MA 02043

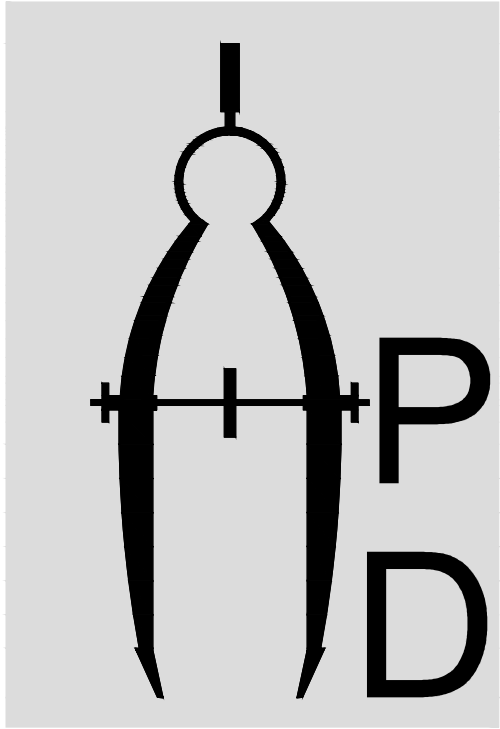
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DATE:
FEBRUARY 12, 2026

*FOUNDATION
AS-BUILT PLAN*

SHEET 1 of 1
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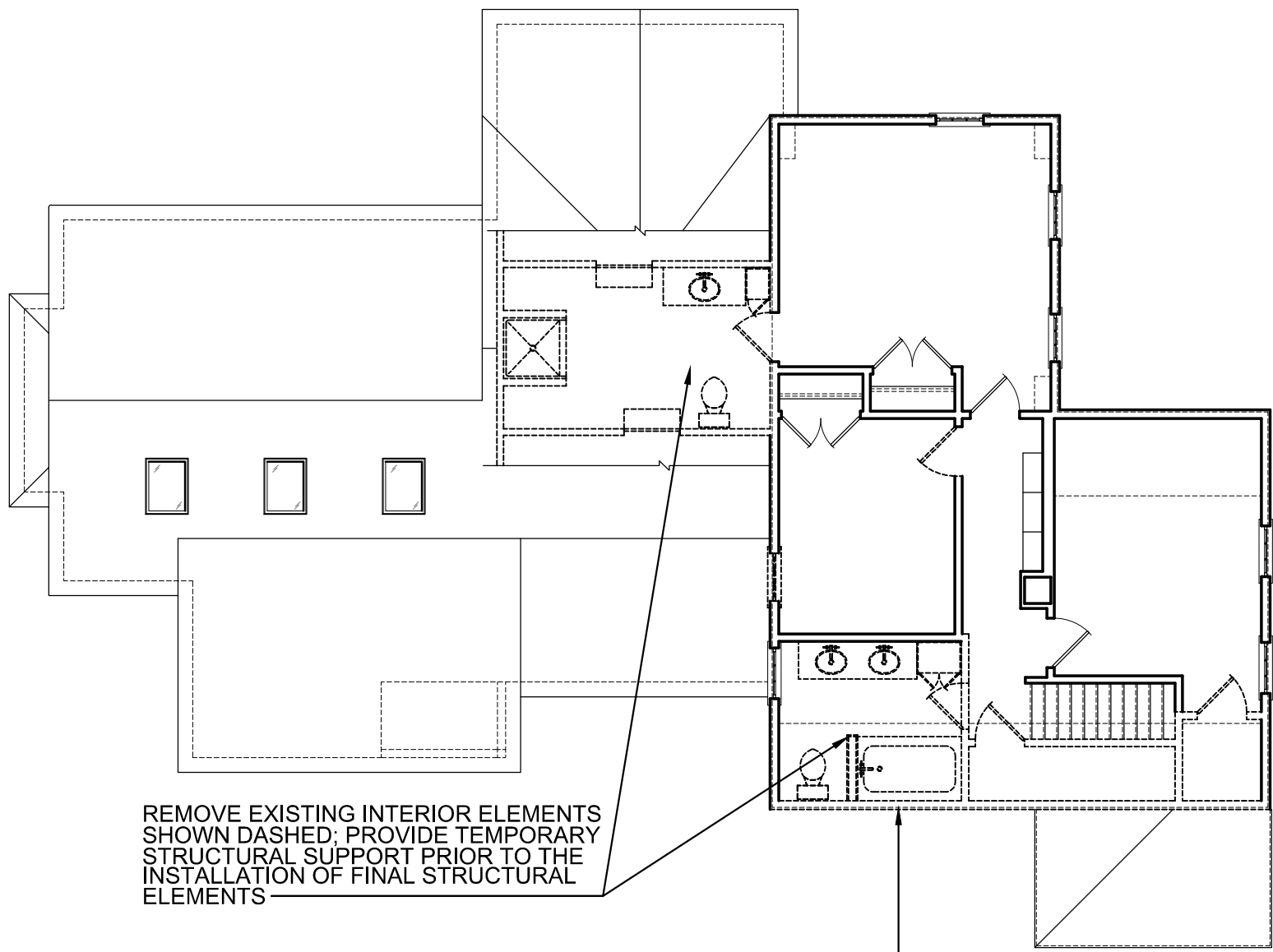
RESIDENTIAL DESIGN
INTERIOR DESIGN
PLANNING

5 Ringbolt Road
Hingham, MA 02043

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ROGERS RESIDENCE

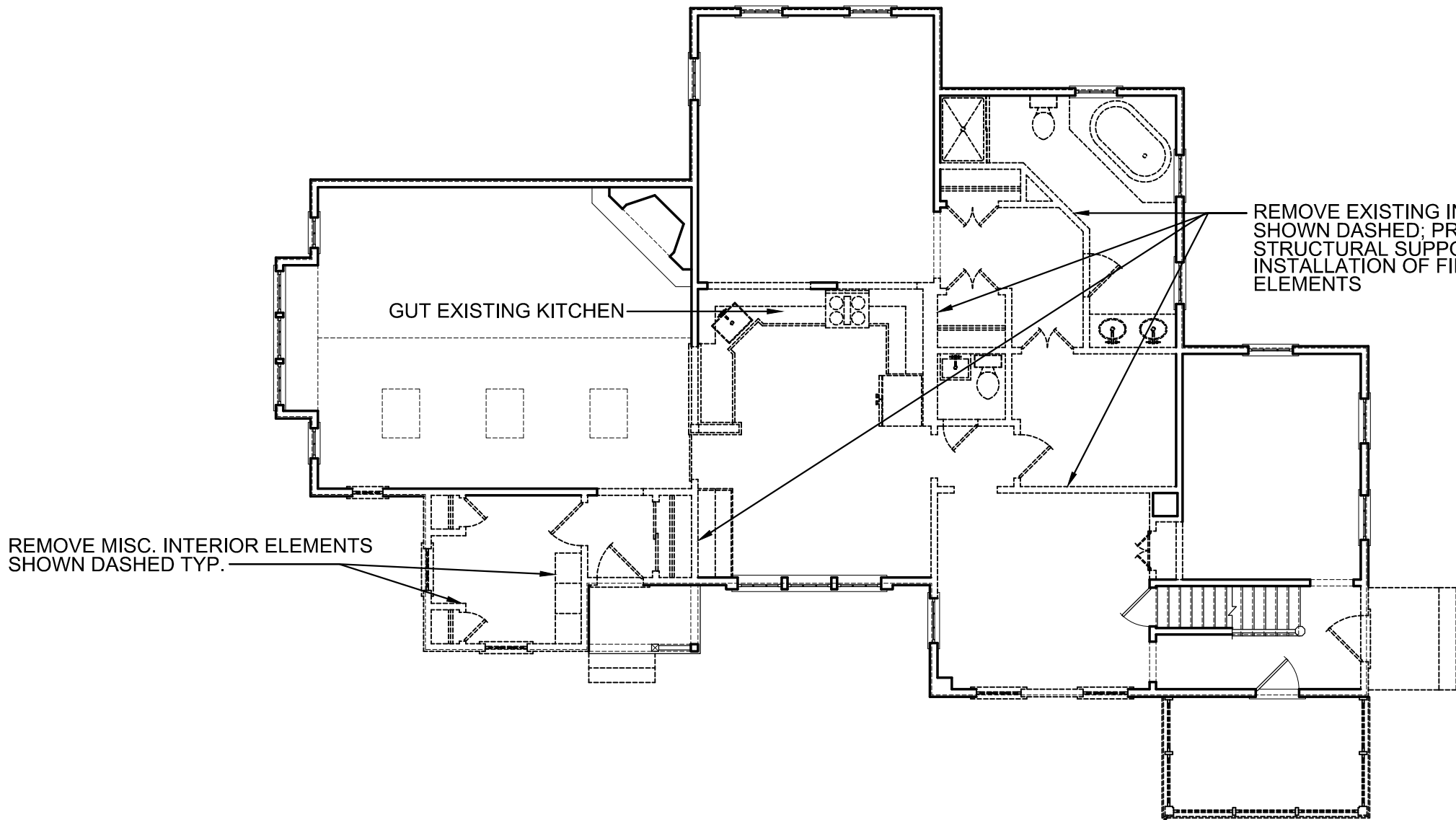
71 Hersey Street, Hingham MA



REMOVE EXISTING INTERIOR ELEMENTS
SHOWN DASHED; PROVIDE TEMPORARY
STRUCTURAL SUPPORT PRIOR TO THE
INSTALLATION OF FINAL STRUCTURAL
ELEMENTS

2 - SECOND FLOOR EXISTING / DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

REMOVE EXISTING EXTERIOR WALL
SHOWN DASHED; PROVIDE TEMPORARY
STRUCTURAL SUPPORT PRIOR TO THE
INSTALLATION OF FINAL STRUCTURAL
ELEMENTS

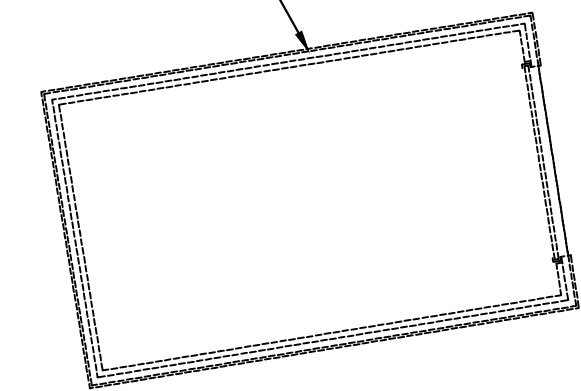


REMOVE EXISTING INTERIOR WALLS
SHOWN DASHED; PROVIDE TEMPORARY
STRUCTURAL SUPPORT PRIOR TO THE
INSTALLATION OF FINAL STRUCTURAL
ELEMENTS

REMOVE MISC. INTERIOR ELEMENTS
SHOWN DASHED TYP.

REMOVE EXISTING GARAGE IN
ITS ENTIRETY SHOWN DASHED
INCLUDING ALL FOUNDATIONS

REMOVE EXISTING PORCH IN
ITS ENTIRETY SHOWN DASHED
INCLUDING ALL FOUNDATIONS



1 - FIRST FLOOR EXISTING / DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DRAWING LIST

DRAWING TITLE	CONST. SET	
COVER / EXISTING / DEMOLITION PLANS	4/10/25	
A-1 FOUNDATION PLAN	4/10/25	
A-2 FOUNDATION DETAILS	4/10/25	
A-3 FIRST FLOOR FRAMING PLAN	4/10/25	
A-4 SECOND FLOOR FRAMING PLAN	4/10/25	
A-5 ROOF FRAMING PLAN	4/10/25	
A-6 FIRST FLOOR PLAN AND FINISH SCHEDULES	4/10/25	
A-7 SECOND FLOOR PLAN	4/10/25	
A-8 EXTERIOR ELEVATIONS AND WINDOW SCHEDULE	4/10/25	
A-9 EXTERIOR ELEVATIONS	4/10/25	
A-10 BUILDING SECTION	4/10/25	
A-11 BUILDING SECTIONS	4/10/25	
A-12 BUILDING SECTIONS	4/10/25	
A-13 BUILDING SECTIONS	4/10/25	

- THE CONTRACTOR SHALL DEMOLISH, REMOVE AND LEGALLY DISPOSE OF ALL ITEMS SHOWN DASHED ON THIS DRAWING SET AND ALL ITEMS SUCH MARKED. NO ITEMS SHALL BE BURIED ON SITE.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO ANY WORK OR ORDERING OF ANY MATERIALS
- THE CONTRACTOR SHALL PROVIDE SOUND AND DUST PROTECTION TO THE EXISTING HOUSE DURING CONSTRUCTION
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF CONDITIONS UNCOVERED DURING DEMOLITION OR CONSTRUCTION THAT ARE UNANTICIPATED OR APPEAR TO PRESENT A DANGEROUS CONDITION
- CAREFULLY PROTECT ALL MATERIALS AND SURFACES ADJACENT TO AREAS IN WHICH WORK IS BEING DONE AND AREAS USED FOR ACCESS.
- CONTRACTOR TO PROVIDE AND DISPLAY "NO TRESPASSING" SIGNS IN APPROPRIATE LOCATIONS DURING CONSTRUCTION.
- FURNISH AND PLACE ALL SUPPORTS, TEMPORARY AND PERMANENT SO THAT NO HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OCCURS.
- PRESSURE TREATED WOOD SHALL BE SOUTHERN PINE #1
- BUILT-UP WOOD BEAMS SHALL BE CONSTRUCTED OF MICRO-LAM LAMINATED VENEER LUMBER (LVL) - SIZES AS INDICATED BY THE ENGINEERING SKETCHES, OR IN THIS DRAWING SET.
- SEE STRUCTURAL ENGINEERING SKETCHES FOR ALL STRUCTURAL MEMBERS NOT CALLED OUT WITHIN THIS DRAWING SET, INCLUDING BUT NOT LIMITED TO; LVL'S, STRUC. STEEL MEMBERS AND STRUCTURAL POSTS.

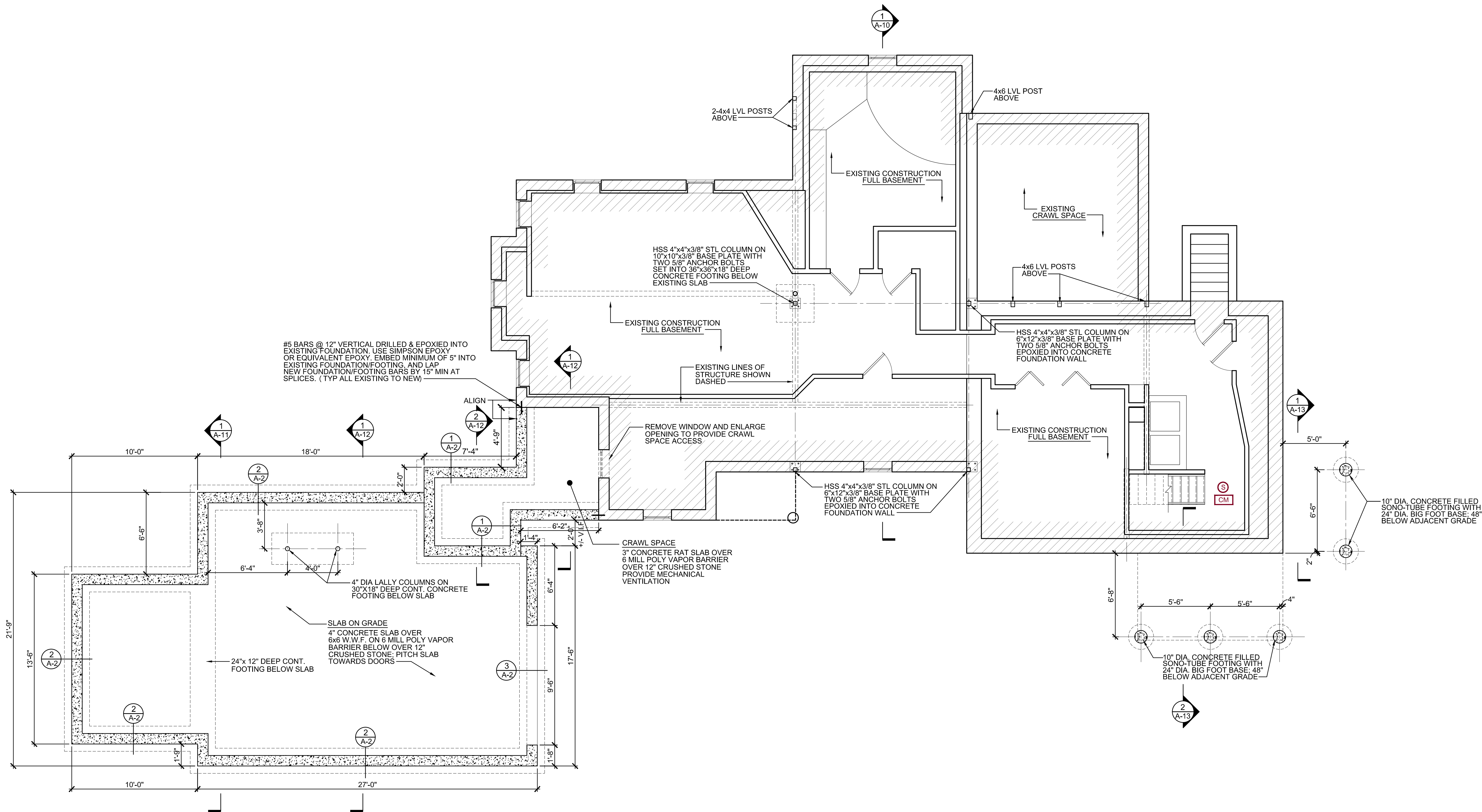
- CONNECTORS AND TIES SHALL BE AS MANUFACTURE BY SIMPSON STRONG-TIE, OR EQUAL
 - LUMBER SHALL BE SPRUCE PINE FIR (S-P-F) #1 OR EQUAL WITH A MAX. MOISTURE CONTENT OF 19%.
 - ALL NEW WINDOWS TO BE AS NOTED ON WINDOW SCHEDULE AND ELEVATIONS. ALL TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - ALL NEW INTERIOR WALLS TO RECEIVE ONE COAT BEN-MOORE LATEX PRIMER AND TWO COATS BEN MOORE LATEX FINISH (EGG SHELL) . ALL TRIM TO RECEIVE ONE COAT BEN-MOORE LATEX PRIMER AND 2 COATS GLOSS.
 - ALL EXTERIOR SIDING TO MATCH EXISTING CEDAR CLAPBOARDS
 - ALL EXTERIOR TRIM TO BE PRE-PRIMED CEDAR TRIM BOARDS AND TO RECEIVE 2 COATS OF BEN-MORE OR EQUAL EXTERIOR PAINT
 - EXTEND EXISTING MECH., ELECTRICAL AND PLUMBING SYSTEMS AS REQUIRED. THESE SYSTEMS ARE DESIGN BUILD. ADD NEW SERVICES AS REQUIRED INCLUDING NEW 200AMP ELECTRICAL SERVICE
- PARTITION KEY
- INT. WALLS TO BE; 2x4 STUDS AT 1'-4" O.C. WITH ONE LAYER OF 1/2" BLUE BOARD EACH SIDE. PROVIDE BASEBOARD TO MATCH EXISTING.
- EXT. WALLS TO BE; 2x6 STUDS AT 1'-4" O.C. WITH ONE LAYER OF 1/2" BLUE BOARD AT INTERIOR. PROVIDE BASEBOARD TO MATCH EXISTING.
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS

GENERAL NOTES

EXISTING / DEMOLITION PLANS



SCALE: 1/8" = 1'-0"



1 - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS, 3500 P.S.I. MIX (3/4" STONE, NO AIR ENTRAINMENT).
- 5/8" DIAMETER ANCHOR BOLTS WITH 3"x3"x1/4" PLATE WASHERS TO BE SET @ 48" O.C. AND NOT MORE THAN 1'-0" FROM ALL CORNERS & STEPS - BOLTS TO BE SET 8" INTO CONCRETE (MIN).
- NO FOOTINGS SHALL BE PLACED ON FROZEN SOIL.
- ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1.5 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED A MINIMUM OF 4'-0" BELOW GRADE.
- MAINTAIN FULL WIDTH OF FOOTING AT ALL STEPS, IF ANY.
- CONTRACTOR IS TO NOTIFY "DIG-SAFE" BEFORE BEGINNING ANY WORK.
- ALL CONCRETE SLABS SHALL BE REINFORCED WITH 6x6 10/10 W.W.F.
- ALL CONCRETE SLABS SHALL BE PLACED OVER 12" OF CRUSHED STONE WITH A 6 MIL FIBER-GLASS REINFORCED POLY. VAPOR BARRIER PLACED DIRECTLY UNDER SLAB.
- FOOTINGS AND FOUNDATION WALLS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AS A MINIMUM REQUIREMENT.
- FINISHED GRADES SHALL BE ARRANGED TO DIRECT SURFACE WATER AWAY FROM ALL FOUNDATION WALLS. THE FINISHED GRADE SHALL SLOPE A MINIMUM OF 1/2" PER FOOT FOR A DISTANCE OF AT LEAST SIX FEET FROM THE FACE OF ALL FOUNDATION WALLS.
- TOP OF CONCRETE SLABS SHALL NOT VARY MORE THAN 3/16" OVER 10 FEET.
- ALL FOUNDATION WALLS SHALL BE DAMP PROOFED FROM THE TOP OF FOOTING TO THE FINISHED GRADE OR WATERPROOFED IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVER SOIL-WATER CONDITIONS ARE KNOWN TO EXIST. (OR AS INDICATED).
- THE SPACE BETWEEN THE EXCAVATION AND THE FOUNDATION WALL SHALL BE BACKFILLED WITH THE SAME MATERIAL USED FOR FOOTINGS, UP TO A HEIGHT OF ONE FOOT ABOVE THE FOOTING FOR WELL-DRAINED SITES, OR 1/2 THE TOTAL BACKFILL HEIGHT FOR POORLY DRAINED SITES. THE REMAINDER OF THE EXCAVATED AREA SHALL BE BACKFILLED WITH THE SAME TYPE OF SOIL AS WAS REMOVED DURING EXCAVATION. THE BACKFILL SHALL BE PLACED IN SIX TO EIGHT INCH COMPACTED LAYERS.
- BACKFILL ADJACENT TO THE WALL SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY BACKFILL.
- A 6-MIL FIBER-GLASS REINFORCED, POLY VAPOR BARRIER WITH JOINTS LAPPED LESS THAN 6", SHALL BE PLACED BETWEEN THE CONCRETE FLOOR BASE COURSE OR PREPARED SUB-GRADE.
- ALL STEEL REINFORCING SHALL BE A.S.T.M. A615, GRADE 60.
- ALL FILL FOR SLABS SHALL BE CLEAN, GRANULAR MATERIAL AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY PER A.S.T.M. D1557. FILL SHALL BE PLACED AND COMPACTED IN 12" LAYERS MAXIMUM. LESS THAN 6", SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE

Consultants

Drawn By:
JCA

Checked By:
JCA

Date:
4/10/25

Revision	Date	By
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Project:
ADDITIONS AND
RENOVATIONS TO
THE PRIVATE
RESIDENCE OF
MR. & MRS. ROGERS
AND FAMILY AT:

71 HERSEY STREET
HINGHAM, MA



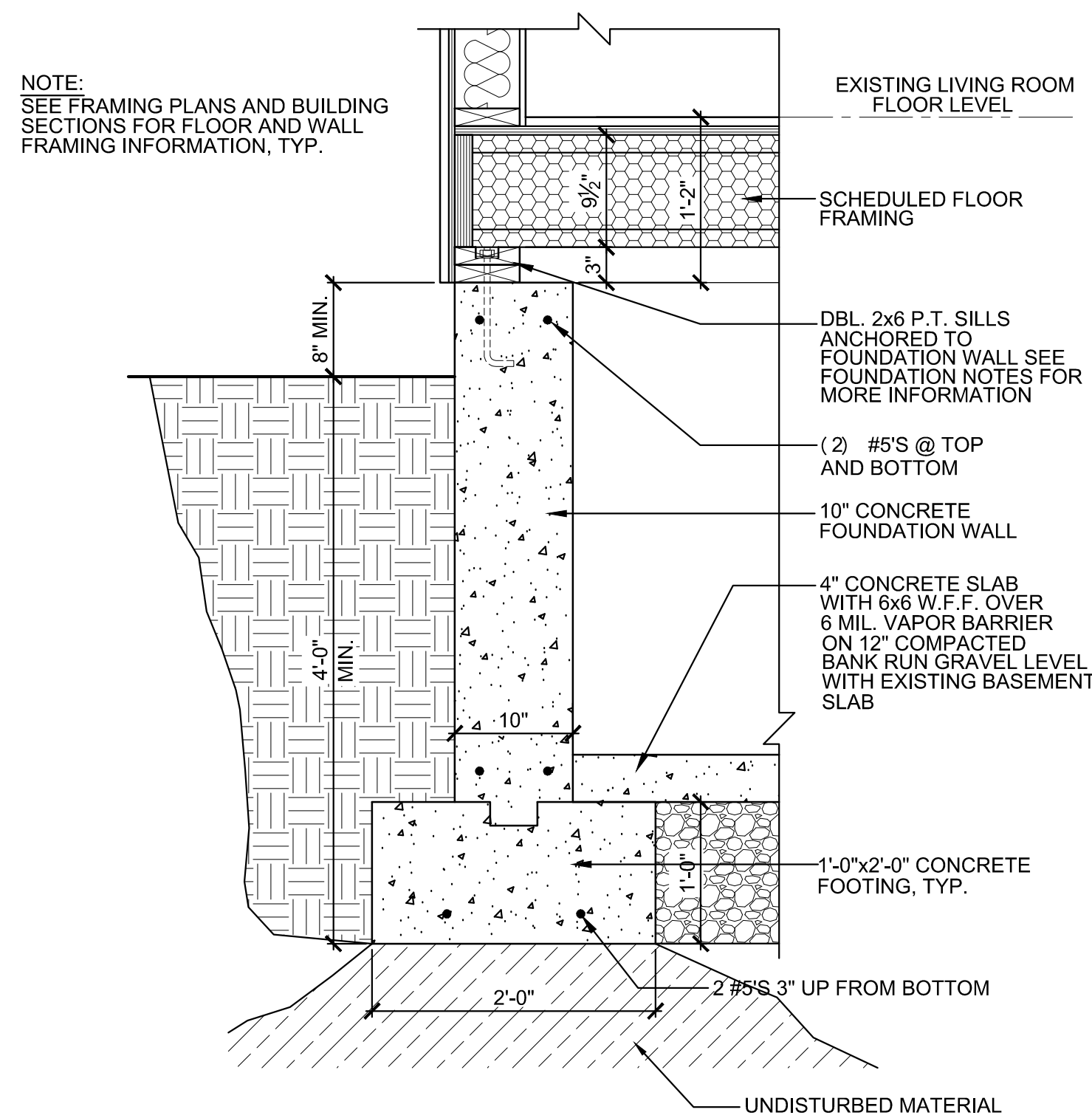
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FOUNDATION DETAILS

Scale:
As Noted

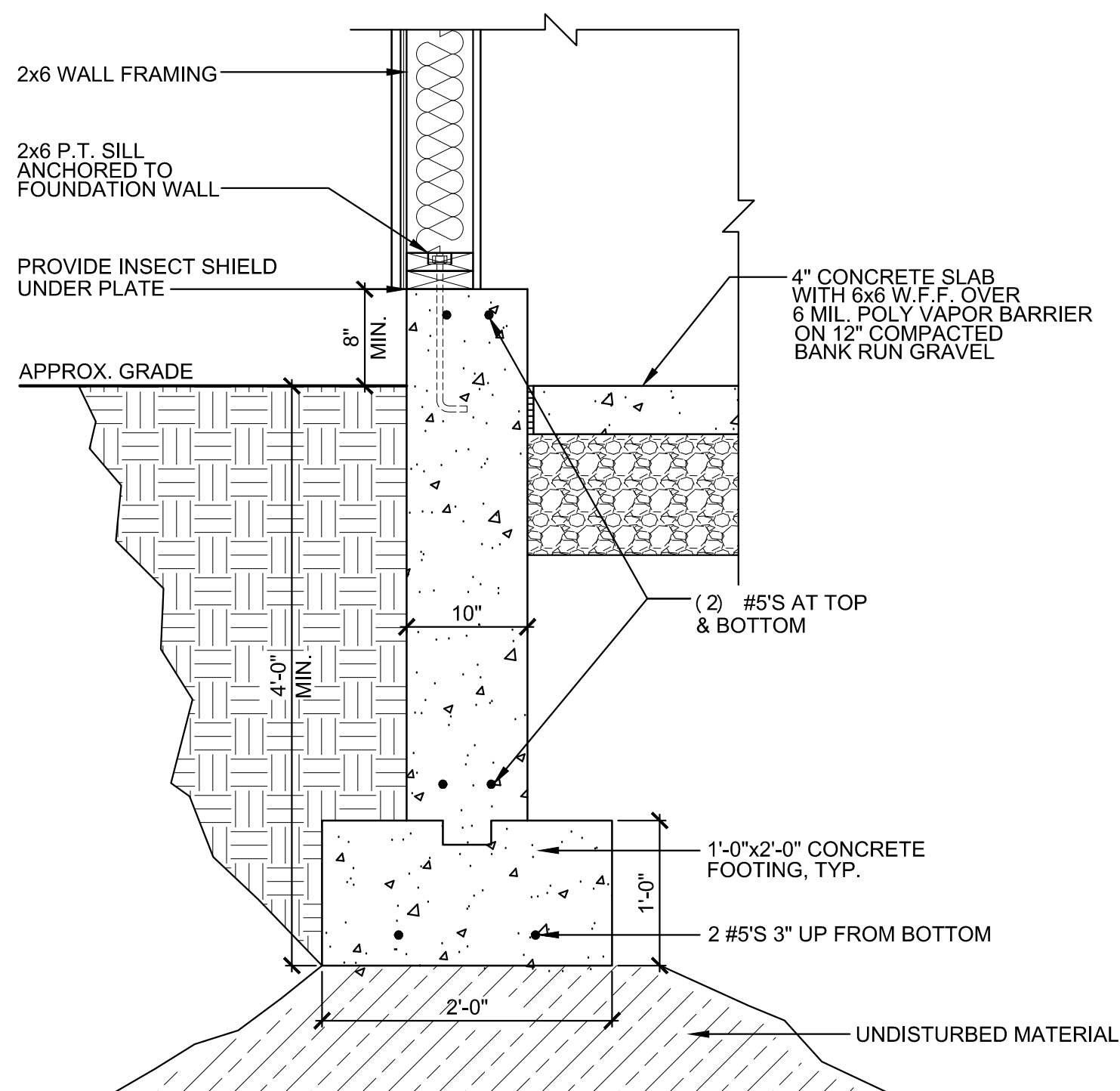
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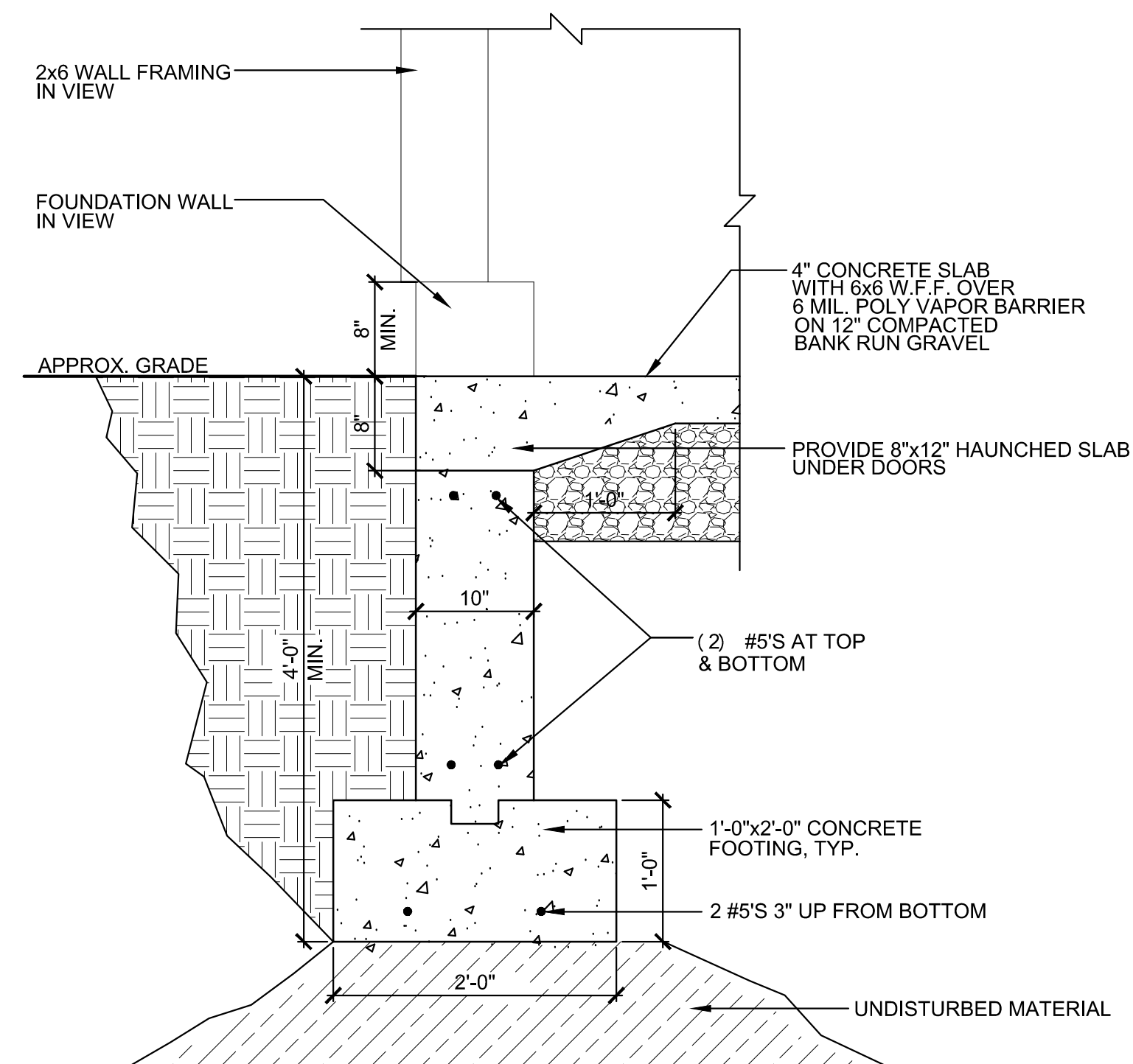
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1 - FOUNDATION DETAIL @ CRAWL SPACE FND.
SCALE: 1" = 1'-0"



2 - FOUNDATION DETAIL @GARAGE FROST WALL
SCALE: 1" = 1'-0"



3 - FOUNDATION DETAIL @GARAGE DOORS
SCALE: 1" = 1'-0"



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ate:
10/25

Revision Date By

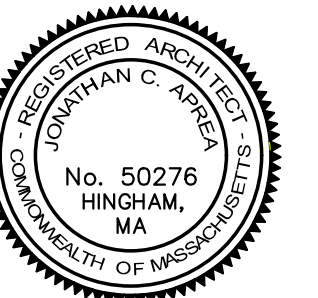
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project:

ADDITIONS AND
INNOVATIONS TO
THE PRIVATE
RESIDENCE OF
MR. & MRS. ROGERS
AND FAMILY AT:

1 HERSEY STREET
2 BINGHAM, MA



Drawing Title:

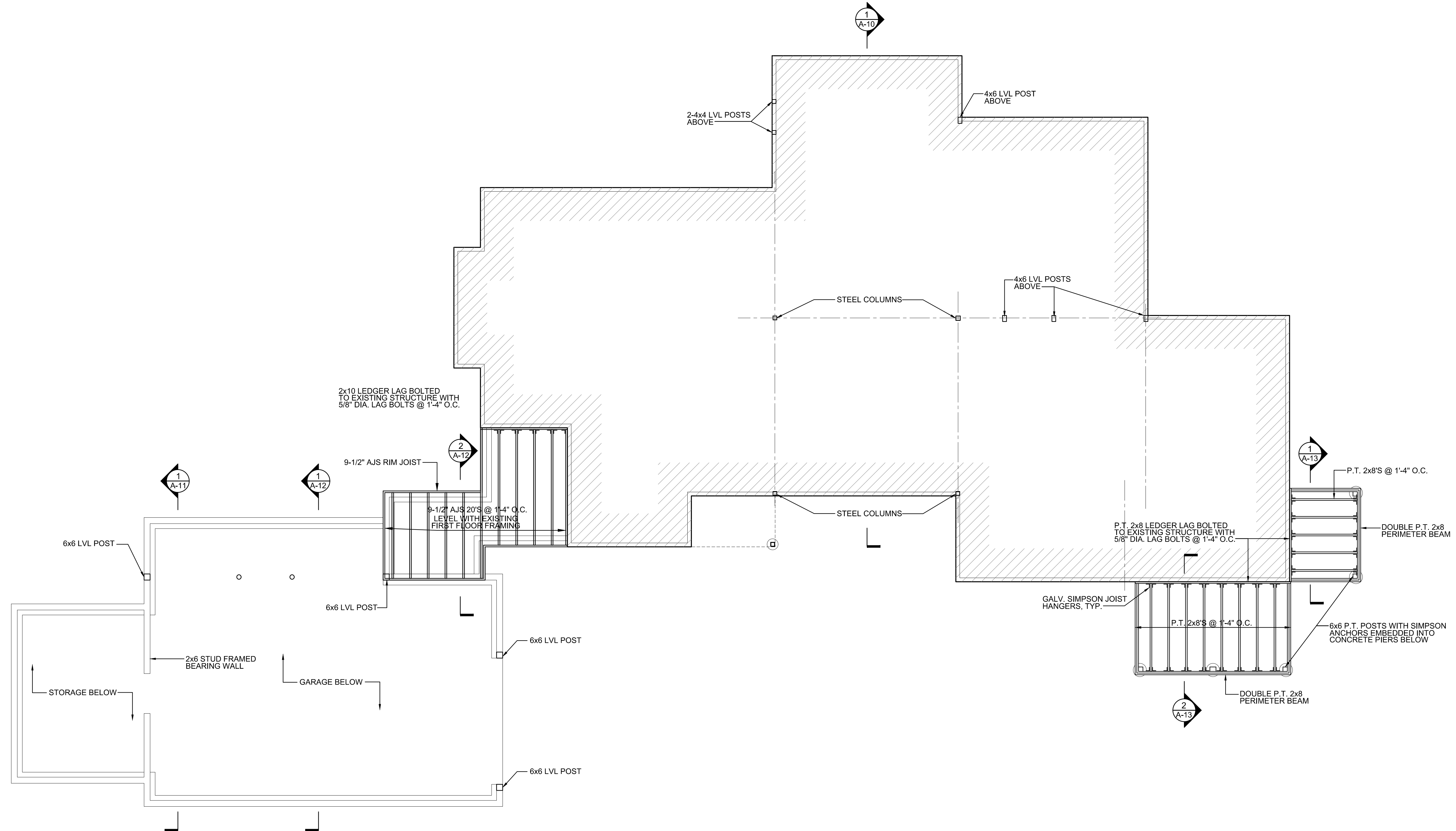
FIRST FLOOR FRAMING PLAN

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A-3

et: CONSTRUCTION



1 - FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING NOTES AND LUMBER SPECIFICATIONS

WALLS

EXTERIOR WALLS: 2x6 K.D. SPRUCE STUDS @ 16" O.C. (U.N.O.) - DOUBLE
2x6 TOP PLATE; SINGLE 2x6 BOTTOM SHOE. ANY PLATES REQUIRED TO
BE IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED (DBL @ SILL).
EXTERIOR WALLS ARE TO BE 2"x6" CONSTRUCTION WITH BLOCKING INSTALLED BETWEEN
STUDS ALONG PLYWOOD EDGES. ALL EXTERIOR PLYWOOD IS TO BE NAILED WITH 8d NAILS
SPACED @ 3" O.C. @ ALL PLYWOOD EDGES & 12" O.C. @ ALL INTERMEDIATE MEMBERS.
ALL PLYWOOD PANELS MUST BE CONTINUOUS FOR 16" ABOVE & BELOW ALL PLATES & SILLS.

PLYWOOD SHEATHING @ CORNERS OF OPENINGS AND MULTI SIDED BAYS SHALL FORM CONTINUOUS "T" & "L" SECTIONS WITH NO SEAMS.

WOOD OR COMBUSTIBLE FRAMING SHALL NOT BE PLACED WITHIN 2" OF A MASONRY FIREPLACE AND NOT LESS THAN 6" TO THE INSIDE SURFACE OF THE NEAREST FLUE LINING. CHIMNEY CLEARANCE SHALL HAVE A MINIMUM OF 2" AIR SPACE CLEARANCE TO ANY COMBUSTIBLES.

LOAD BEARING HEADERS

FOR DWELLING HEADERS SEE BUILDING SECTIONS.

SHEATHING

FLOORS: _____ 3/4" T&G "ADVANTECH" BY "HUBER", SUBFLOOR GLUED & NAILED.
EXTERIOR SIDE WALLS: _____ 1/2" CDX FIR PLYWOOD.
ATTIC FLOOR: _____ 5/8" CDX, T&G PLYWOOD.
ROOF: _____ 5/8" T&G "ADVANTECH" BY "HUBER" ROOF SHEATHING.

FLOOR FRAMING: SEE FRAMING PLANS

WOOD JOISTS TO BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND INCLUDE ALL CONNECTION FASTENERS, HANGERS, RIM BOARDS AND BRACING AS REQUIRED TO MAKE COMPLETE FRAMING SYSTEM. BUILDER TO CONFIRM LOCATION AND SIZES OF ALL REQUIRED FRAME OPENINGS (CHASES ETC) AND SHALL ENSURE THAT ANY HOLES AND PENETRATIONS THROUGH WOOD JOISTS ARE IN CONFORMANCE WITH CODE. ALL METAL CONNECTORS ARE TO BE MANUFACTURED BY SIMPSON "STRONG-TIE" CONNECTORS.

PLUMBING CONTRACTOR IS TO VERIFY THE LOCATION OF THE PLUMBING FIXTURES & COORDINATE ALL NECESSARY FRAMING OPENINGS AND CLEARANCES

ROOF FRAMING
TYPICAL RAFTER TO BE 2x10 No. 1 K.D. SPRUCE RAFTERS @ 16" O.C.
DOUBLE FRAMING AT ROOF OPENINGS.
ALL RAFTERS TO HAVE "SIMPSON" H-2.5 HURRICANE TIES.

ROOF FRAMING

TYPICAL RAFTER TO BE 2x10 No. 1 K.D. SPRUCE RAFTERS @ 16" O.C.
DOUBLE FRAMING AT ROOF OPENINGS.
ALL RAFTERS TO HAVE "SIMPSON" H-2.5 HURRICANE TIES.

INSULATION

2x6 WALLS: _____ R-21
CEILING/ROOF: _____ R-49
FLOORS OVER: _____ R-38
UNHEATED SPACES _____

PROVIDE KRAFT-FACED INSULATION WHERE BATT INSULATION IS INDICATED.
PROVIDE CLOSED CELL FOAM INSULATION WHERE FOAM INSULATION IS INDICATED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE FRAMING WITH PLUMBING & MECHANICAL FIXTURES & PROVIDE ANY NECESSARY OPENINGS, CHASES OR SUPPORTS.

Consultants

Drawn By:
JCA

Checked By:
JCA

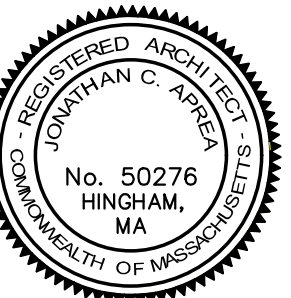
Date:
4/10/25

Revision	Date	By

Project:

ADDITIONS AND
RENOVATIONS TO
THE PRIVATE
RESIDENCE OF
MR. & MRS. ROGERS
AND FAMILY AT:

71 HERSEY STREET
HINGHAM, MA



Drawing Title:

SECOND FLOOR
FRAMING PLAN

Scale:

As Noted

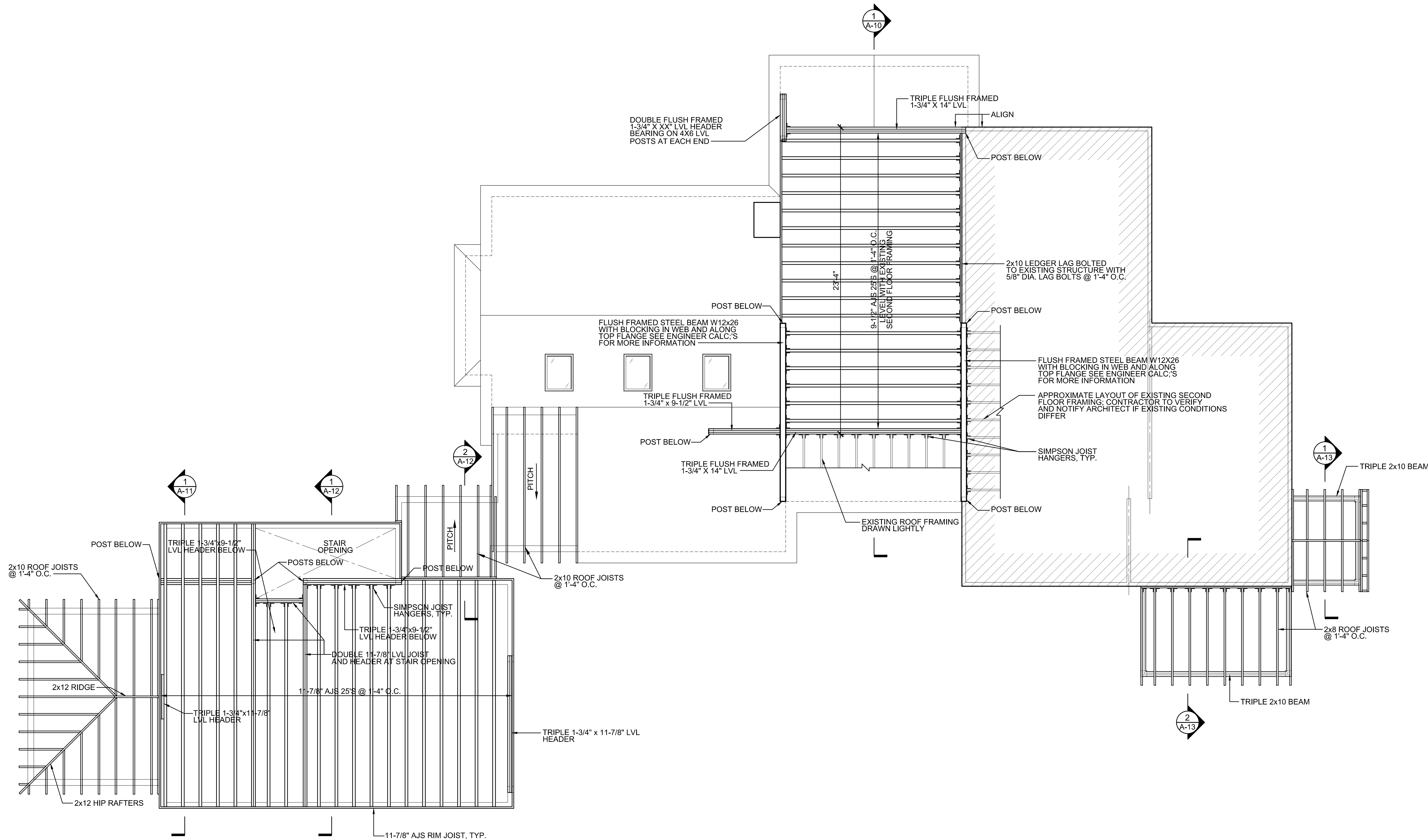
Drawing

Number:

A-4

Set:

CONSTRUCTION



1 - SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

Consultants

Drawn By:
JCA

Checked By:
JCA

Date:
4/10/25

Revision	Date	By

Project:
ADDITIONS AND
RENOVATIONS TO
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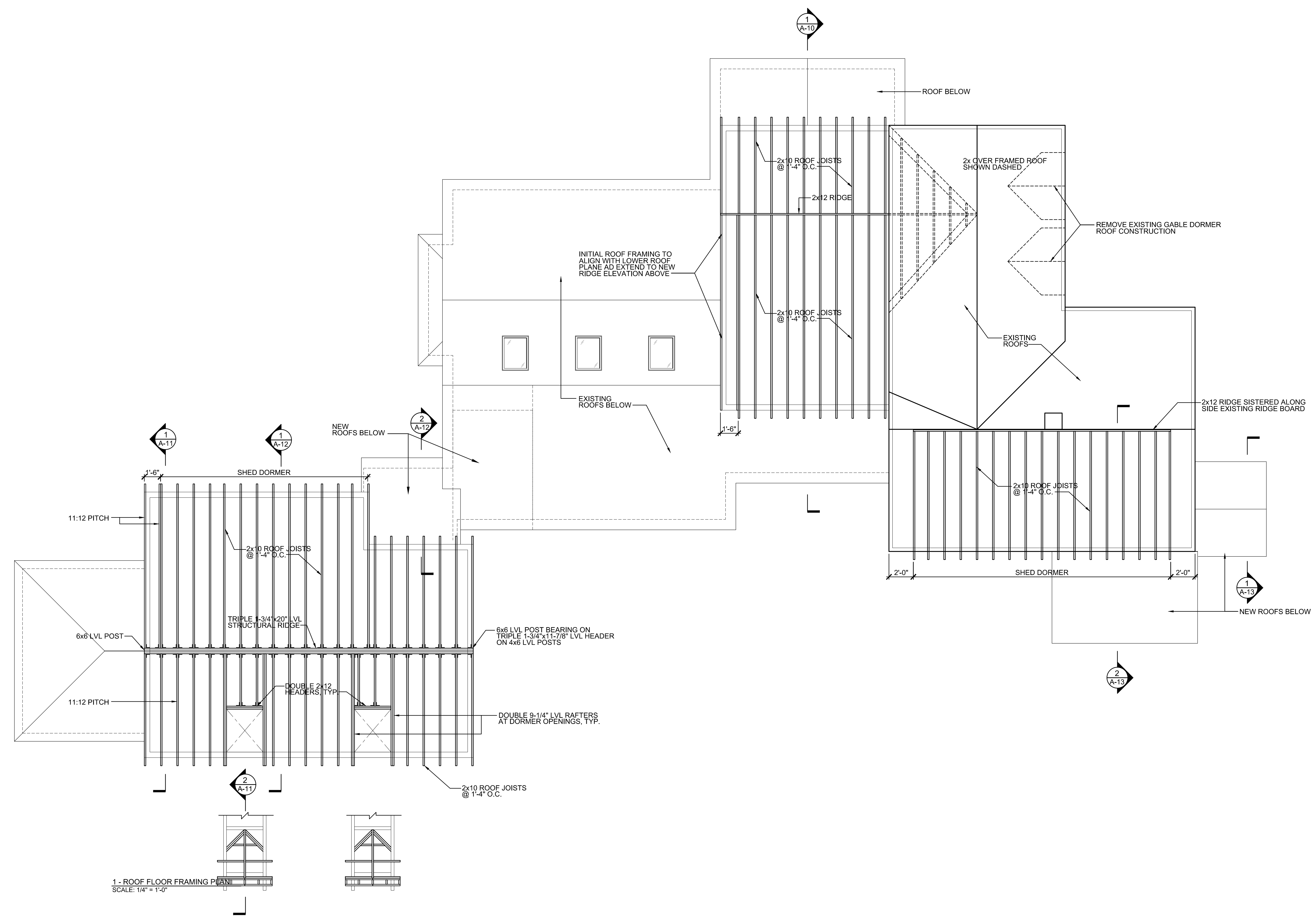
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ROOF
FRAMING PLAN

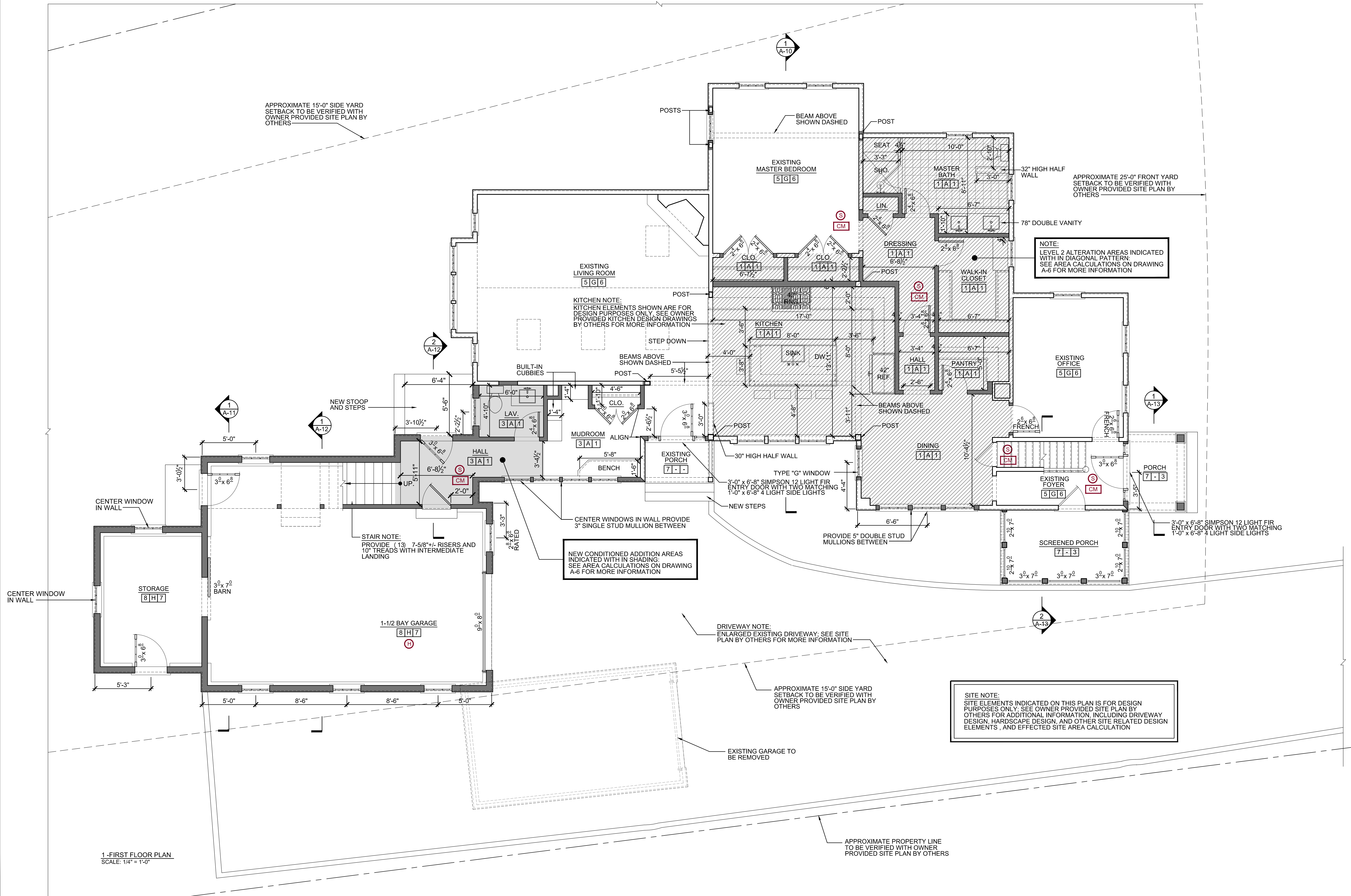
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Drawing
Number:

A-5

Set: CONSTRUCTION





Consultants

Drawn By:
JCA

Checked By:
JCA

Date:

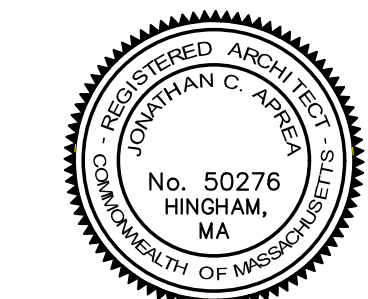
4/10/25

Revision Date By

Project:

ADDITIONS AND
RENOVATIONS TO
THE PRIVATE
RESIDENCE OF
MR. & MRS. ROGERS
AND FAMILY AT:

71 HERSEY STREET
HINGHAM, MA



Drawing Title:

SECOND FLOOR PLAN
FINISH SCHEDULE
& NOTES

Scale:

As Noted

Drawing

Number:

A-7

Set: CONSTRUCTION

NEW CONDITIONED ADDITION AREAS
INDICATED WITH IN SHADING:
SEE AREA CALCULATIONS ON DRAWING
A-6 FOR MORE INFORMATION

EXTEND EXISTING BRICK
CHIMNEY

ROOF BELOW

CENTER WINDOWS IN WALL
PROVIDE 5" DOUBLE STUD
MULLIONS BETWEEN

STAIR NOTE:
PROVIDE (13) 7-5/8"± RISERS AND
10" TREADS WITH INTERMEDIATE
LANDING, RAILING AND NEWEL POSTS
AS SELECTED BY OWNER

ROOFS BELOW

PROVIDE 5" DOUBLE STUD
MULLIONS BETWEEN

PROVIDE NEW BATHROOM
FIXTURES AND FINISHES

NOTE:
LEVEL 2 ALTERATION AREAS INDICATED
WITH IN DIAGONAL PATTERN:
SEE AREA CALCULATIONS ON DRAWING
A-6 FOR MORE INFORMATION

NEW CONDITIONED ADDITION AREAS
INDICATED WITH IN SHADING:
SEE AREA CALCULATIONS ON DRAWING
A-6 FOR MORE INFORMATION

CENTER WINDOW BELOW
RIDGE

POST

CENTER WINDOW BELOW
RIDGE

POST

BONUS ROOM

OFFICE

8'-3"

8'-3"

1 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT AREAS

EXISTING CONDITIONED FLOOR AREAS

EXISTING CONDITIONED FIRST FLOOR AREA 1,638 S.F.
EXISTING CONDITIONED SECOND FLOOR AREA 793 S.F.
TOTAL EXISTING CONDITIONED FLOOR AREAS 2,431 S.F.

ADDITIONAL CONDITIONED FLOOR AREAS

ADDED CONDITIONED FIRST FLOOR AREA 108 S.F.
ADDED CONDITIONED SECOND FLOOR AREA 786 S.F.
TOTAL ADDITIONAL CONDITIONED FLOOR AREA 894 S.F.

CONCLUSION
ADDED CONDITIONED FLOOR AREA OF 894 S.F. IS LESS THAN 1,000 S.F. OR 100%
OF THE EXISTING FINISHED FLOOR AREA
BASE ENERGY CODE APPLIES

LEVEL 2 ALTERATION FINISHED FLOOR AREAS

LEVEL 2 ALTERATION CONDITIONED FIRST FLOOR AREA 706 S.F.
LEVEL 2 ALTERATION CONDITIONED SECOND FLOOR AREA 263 S.F.
TOTAL LEVEL 2 ALTERATION FINISHED FLOOR AREA 969 S.F.

LEVEL 2 ALTERATION CONDITIONED FLOOR AREA OF 969 S.F. / 2,431 SF. = 40% OF TOTAL
EXISTING CONDITIONED FLOOR AREA

CONCLUSION
LEVEL 2 ALTERATION FINISHED FLOOR AREA OF 40% IS LESS THAN THE REQUIRED 50%
OF THE EXISTING FINISHED FLOOR AREA TO BE CONSIDERED A LEVEL 3 ALTERATION
BASE ENERGY CODE APPLIES

FLOOR PLAN NOTES

WALLS:
1. INTERIOR WALLS SHOWN SHADED: 2x4'S @ 1'-4" O.C., 1/2" GYPSUM BLUE
BOARD AND SKIM COAT EACH SIDE EXCEPT MR. BOARD AT BATHROOMS AND
CEMENT BOARD UNDER TILES. PROVIDE BATT INSULATION IN BEDROOM,
AND BATHROOM WALLS.

2. EXTERIOR WALLS SHOWN SHADED: 2x6'S @ 1'-4" O.C., UNLESS NOTED
OTHERWISE WITH 1/2" GYPSUM BLUE BOARD AT INTERIOR FACE WITH R-21
INSULATION AND VAPOR BARRIER, TYVEK BUILDING WRAP, 1/2" PLYWOOD
SHEATHING AND SCHEDULED SIDING

CEILING:
1. ALL NEW CEILINGS: 1x3 STRAPPING @ 1'-4" O.C. WITH 1/2" G.W.B. WITH
SKIM COAT FINISH, SMOOTH

FLOORS:
1. PROVIDE 3/4" ADVANTECK SUB FLOORING WITH WOOD FLOORING TO MATCH
EXISTING OR AS SELECTED BY OWNER. STAINED AND 3 COATS OF POLYURETHANE
2. PROVIDE 1/2" CEMENT BOARD UNDERLAYMENT BENEATH CERAMIC TILE WHERE
SCHEDULED. ALL TILE TO BE SELECTED BY OWNER

INTERIOR TRIM:
1. DOOR CASING & CASED OPENINGS, MATCH EXISTING OR AS SELECTED
BY OWNER
2. WINDOW AND DOOR CASING, MATCH EXISTING OR AS SELECTED BY OWNER
3. ALL BASE BOARD TRIM TO MATCH EXISTING OR AS SELECTED BY OWNER
4. CLOSET SHELF AND ROD, PAINTED PLYWOOD SHELF WITH SOLID EDGE, ABOVE
METAL BRACKETS AT 4'-0" O.C. WITH STEEL HANGER ROD. SEE OWNERS FOR
ADDITIONAL REQUIREMENTS

HARDWARE:
1. CONTRACTOR TO PROVIDE HIGH GRADE HARDWARE FOR ALL DOORS AND
WINDOWS. OWNER TO SELECT FINISH AND FUNCTION WHERE NOT INDICATED
IN THIS DRAWING SET.

SMOKE ALARM NOTES

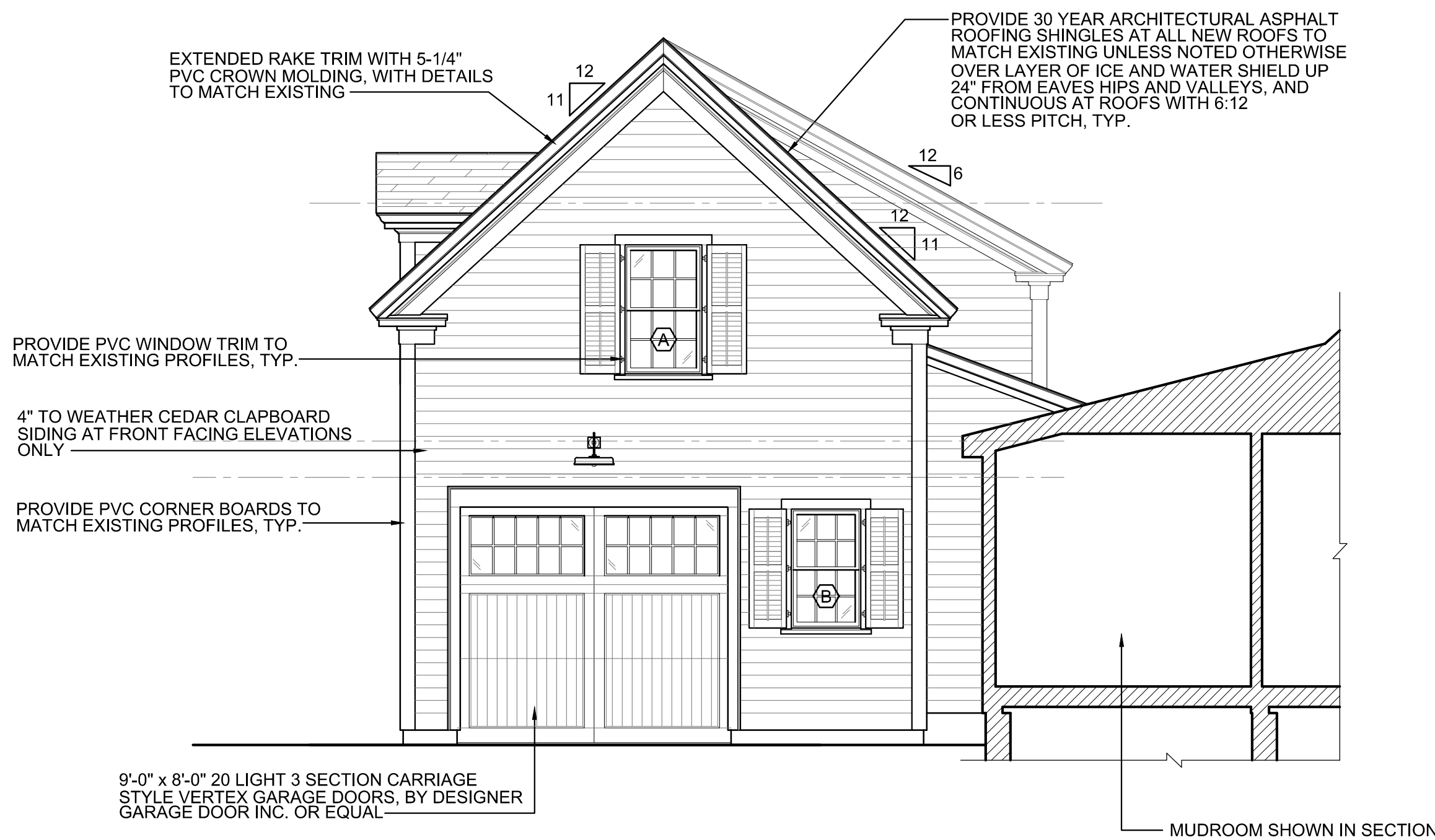
1. ALL BEDROOMS TO HAVE SMOKE DETECTORS 24" FROM ENTRANCE DOORS.
2. ALL STAIRS TO HAVE SMOKE DETECTORS AT TOP & BOTTOM.
3. ALL BEDROOM HALLWAYS TO HAVE SMOKE DETECTORS.
4. ALL SMOKE DETECTORS TO BE LOCATED A MINIMUM OF 24" FROM ADJACENT WALLS.
5. ALL SMOKE DETECTORS TO BE 120V, PHOTO ELECTRIC TYPE.
6. ALL 120V SMOKE DETECTORS TO HAVE BATTERY BACK-UP.
7. SYMBOL FOR 120V SMOKE DETECTORS ON PLAN: (S)
8. CARBON MONOXIDE DETECTORS: ONE ON EACH LEVEL.
9. CARBON MONOXIDE DETECTORS: ONE WITHIN 10' OF EACH BEDROOM DOOR.
10. SYMBOL FOR 120V CARBON-MONOXIDE SMOKE DETECTORS ON PLAN: (CM)
11. SYMBOL FOR 120V, RATE OF RISE HEAT DETECTORS ON PLAN: (H)

FINISH SCHEDULE

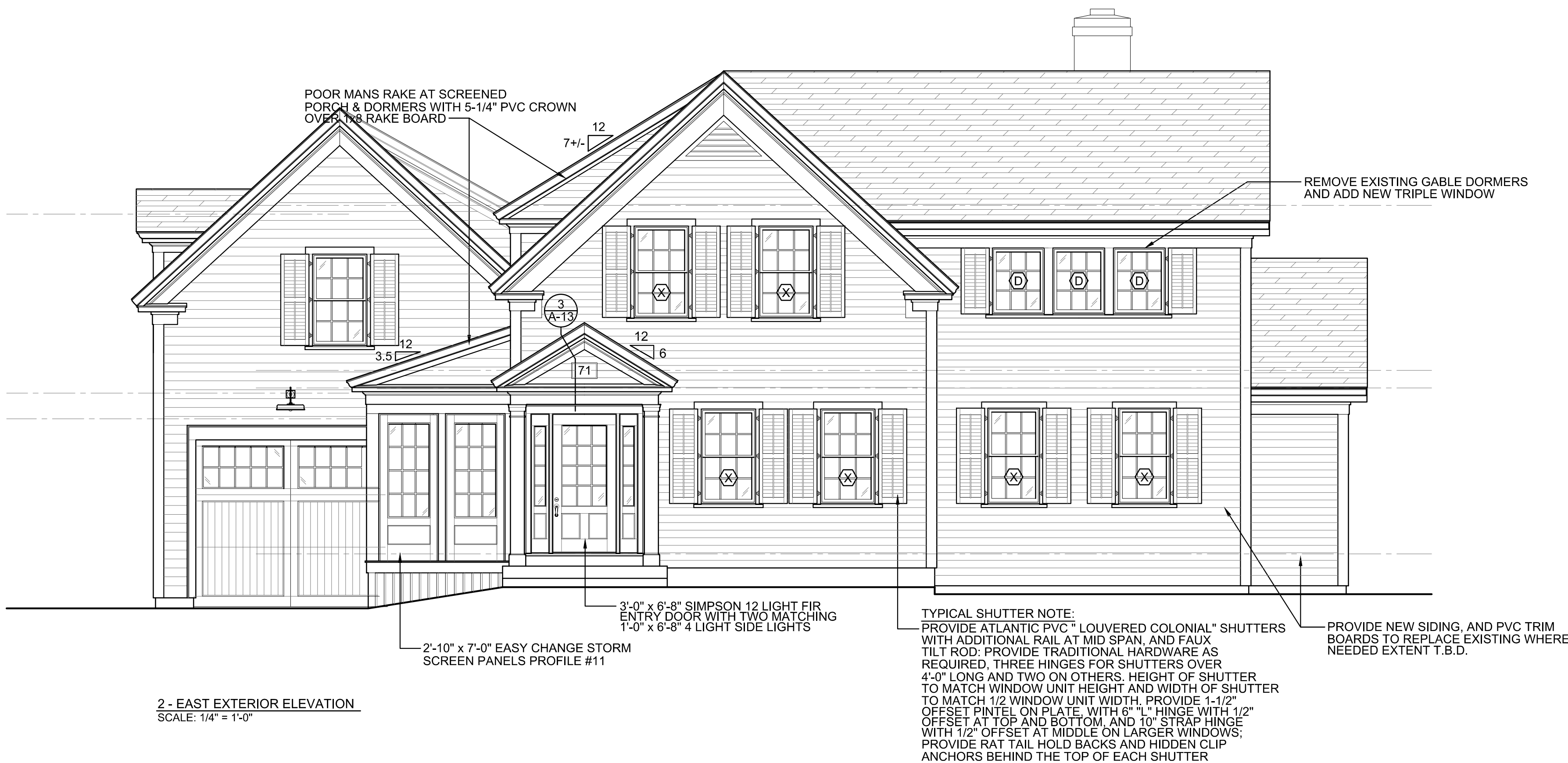
FLOORBASE	WALL	CEILING	KEY
1 WD/WDB	A GWBP	1 GWBP	ROOM NAME XXXX XXXX XXXX XXXX XXXX XXXX XXXX XXXX FLOOR-WALLS-CEILING
2 OPT/WDB	B GWBP/CROWN	2 MRGWBP	
3 T-1/WDB	C T-2	3 SHIPPL	
4 EWD/WDB	D MRGWBBB	4 EXP	
5 EXIST	E BEADB/TRIM/PAINT	5 PAINT	
6 REF-W	F PAINT	6 EXIST	
7 DECK	G EXIST	7 GWBP"X"P	
8 CONC	H GWBP"X"P		
9 STONE PAVERS			

LEGEND

- CPT - CARPET WITH PAD
T-1 - FLOOR TILE, TYPE AND STYLE TO BE SELECTED
EWD - ENGINEERED WOOD FLOORING SYSTEM AS SELECTED BY OWNER
WD - FIRST FLOOR 4-1/4" WHITE OAK 2ND FLOOR TO MATCH EXISTING OR AS SELECTED BY OWNER
CONC. - CONCRETE WITH SEALER
WDB - 1ST FLOOR PROVIDE 1x6 WOOD BASE WITH BROSCO CAP MOLDING; 2ND FLOOR BASE TO MATCH EXISTING
GWBP - 1/2" GYPSUM WALL BOARD WITH SKIM COAT FINISH, PAINTED
GWBP"X" - 5/8" GYPSUM WALL BOARD WITH SKIM COAT FINISH, PAINTED
MRGWBP 5/8" MOISTURE RESISTANT GYPSUM WALL BOARD WITH SKIM COAT FINISH, PAINTED
STONE - BLUE STONE PAVERS 2" THICK RANDOM PATTERN
REF-W - REFINISH EXISTING WOOD FLOOR
PAINT - EXISTING WALLS REPAINTED
EXIST - EXISTING PATCH EFFECTED AREAS TO NEW CONDITION
SHIPPL - 1x6 FIR SHIPPLAP CEILING
TRIM - WAINSCOT TRIM, APRON TO MATCH EXISTING WINDOWS WITH 5/4 CAP
WITH ANGLED AND EASED EDGE
DECK - 1x4 FIBERON DECKING COLOR AS SELECTED BY OWNER



1 - EAST EXTERIOR ELEVATION @ GARAGE
SCALE: 1/4" = 1'-0"



2 - EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

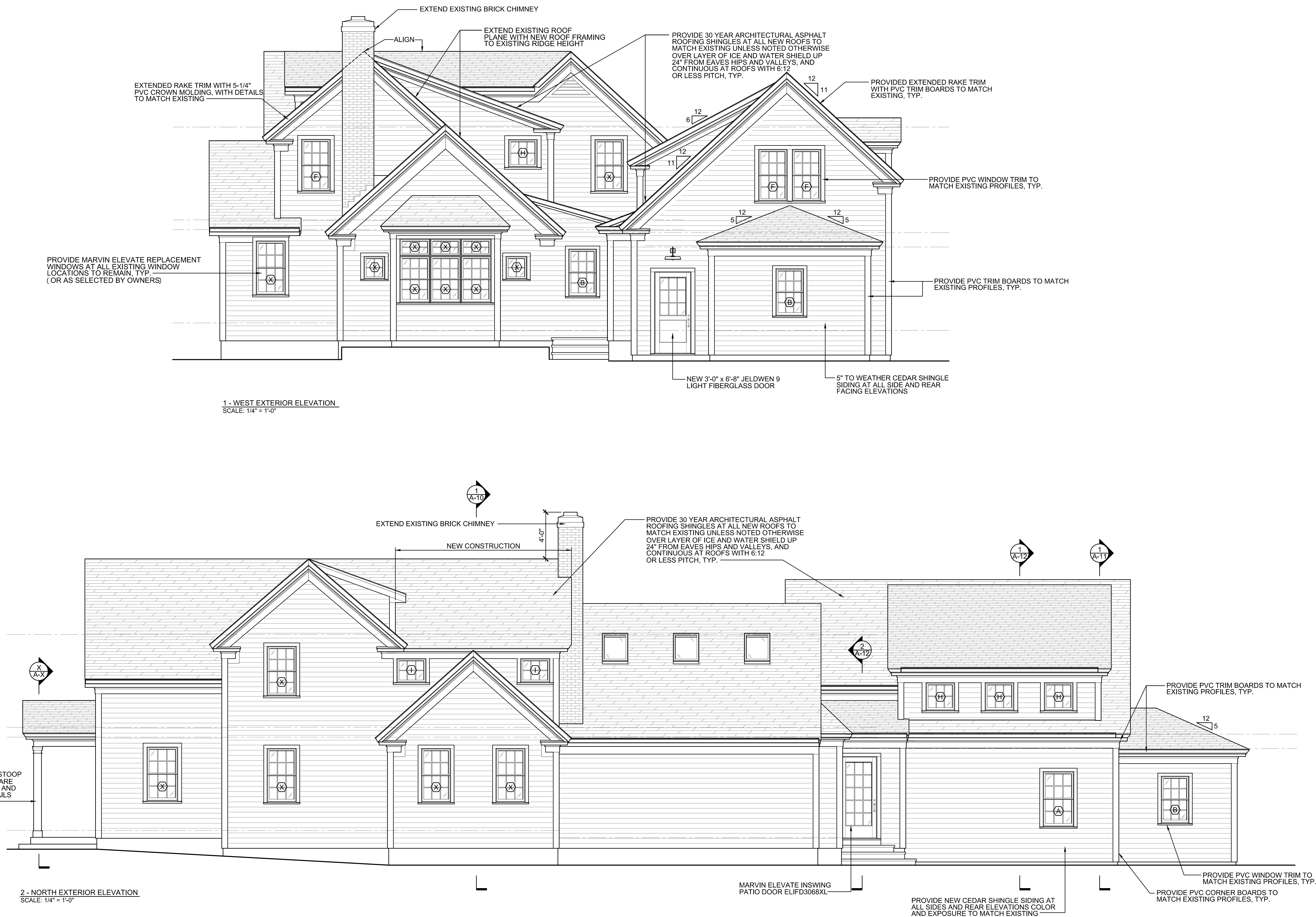


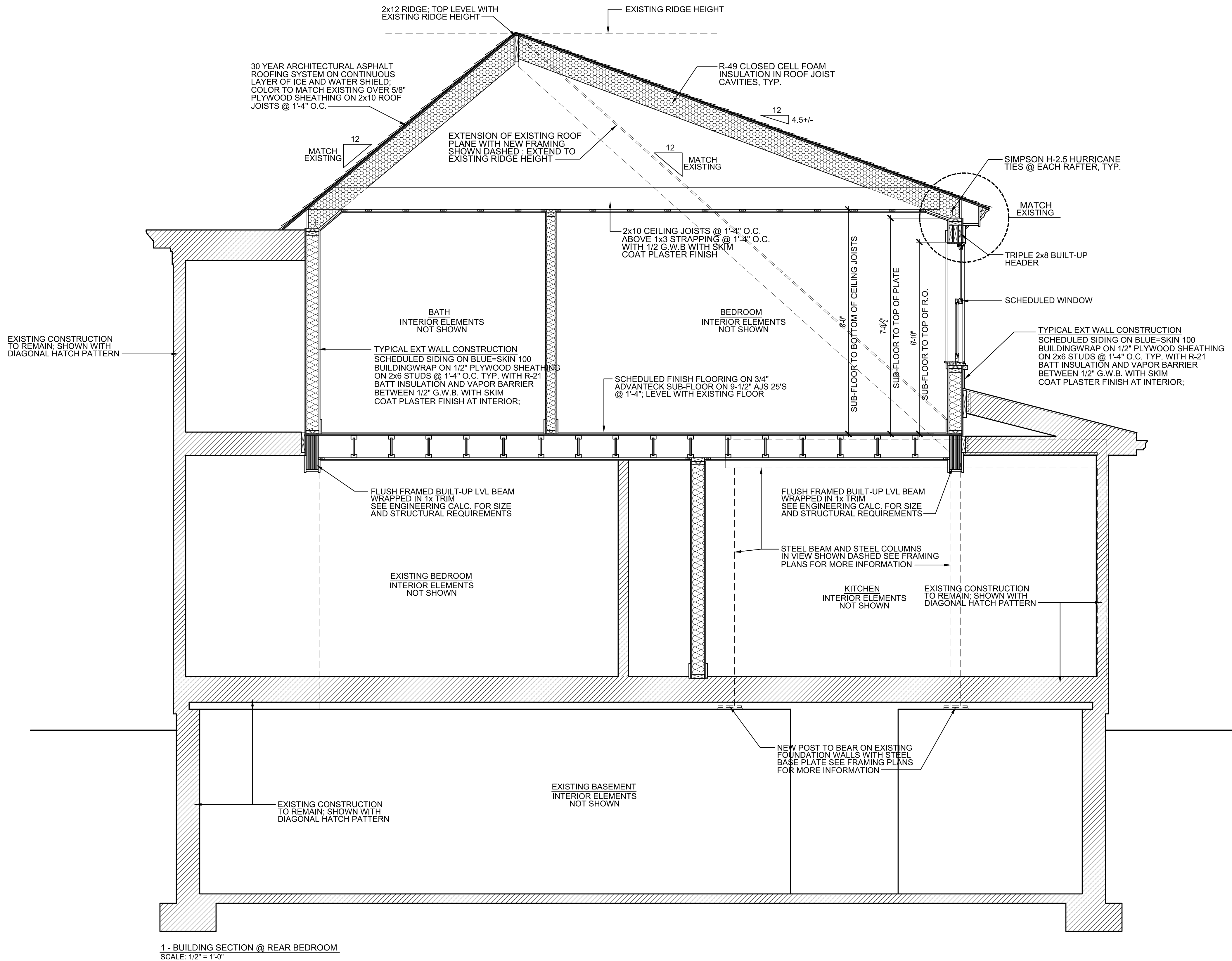
3 - SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

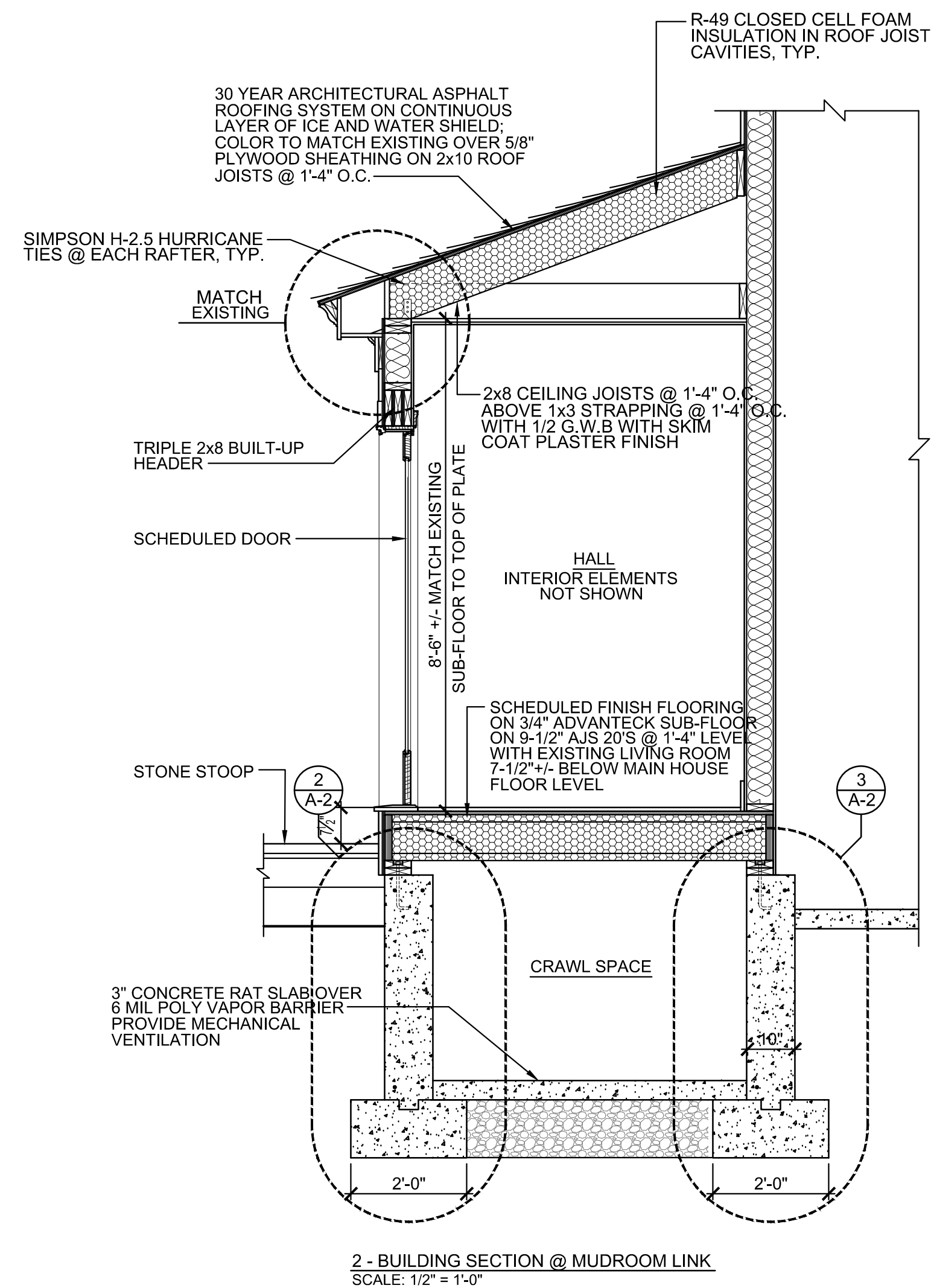
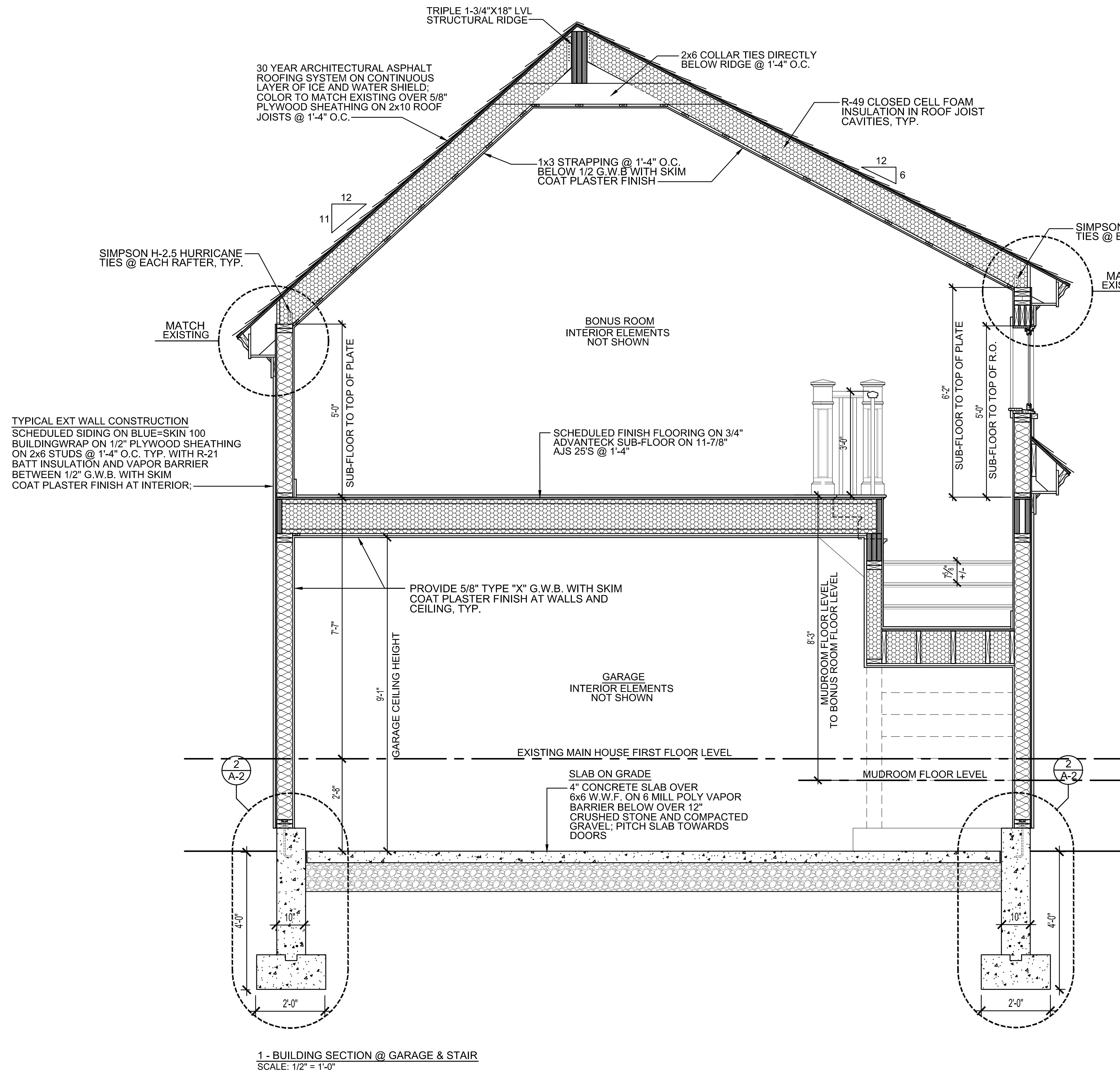
WINDOW SCHEDULE					
SYMBOL	UNIT NUMBER	ROUGH OPENING	GLASS LAYOUT	WINDOW TYPE	COMMENTS
(A)	ELDH3452	2'-10-1/2" x 4'-4-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(B)	ELDH3048	2'-6-1/2" x 4'-0-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(C)	ELDH3056	2'-6-1/2" x 4'-8-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(D)	ELAWN2935	2'-5" x 2'-11-5/8"	9 - LIGHT	MARVIN ELEVATE SERIES AWNING WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(E)	ELDH3456	2'-10-1/2" x 4'-8-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(F)	ELDH3053	2'-6-1/2" x 4'-4-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(G)	ELDH3460	2'-10-1/2" x 5'-0-1/4"	6/6	MARVIN ELEVATE SERIES DOUBLE HUNG WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(H)	ELAWN2927	2'-5" x 2'-3-5/8"	6 - LIGHT	MARVIN ELEVATE SERIES AWNING WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(I)	ELAWN2923	2'-5" x 1'-11-5/8"	6 - LIGHT	MARVIN ELEVATE SERIES AWNING WINDOW	SIMULATED DIVIDED LIGHT WITH 3/4" MUNTINS LOW-E 272 AND ARGON GAS
(X)	MARVIN ELEVATE FULL FRAME REPLACEMENT WINDOW; WITH SDI, GRILLS; SEE ELEVATIONS FOR GRILL PATTERNS				

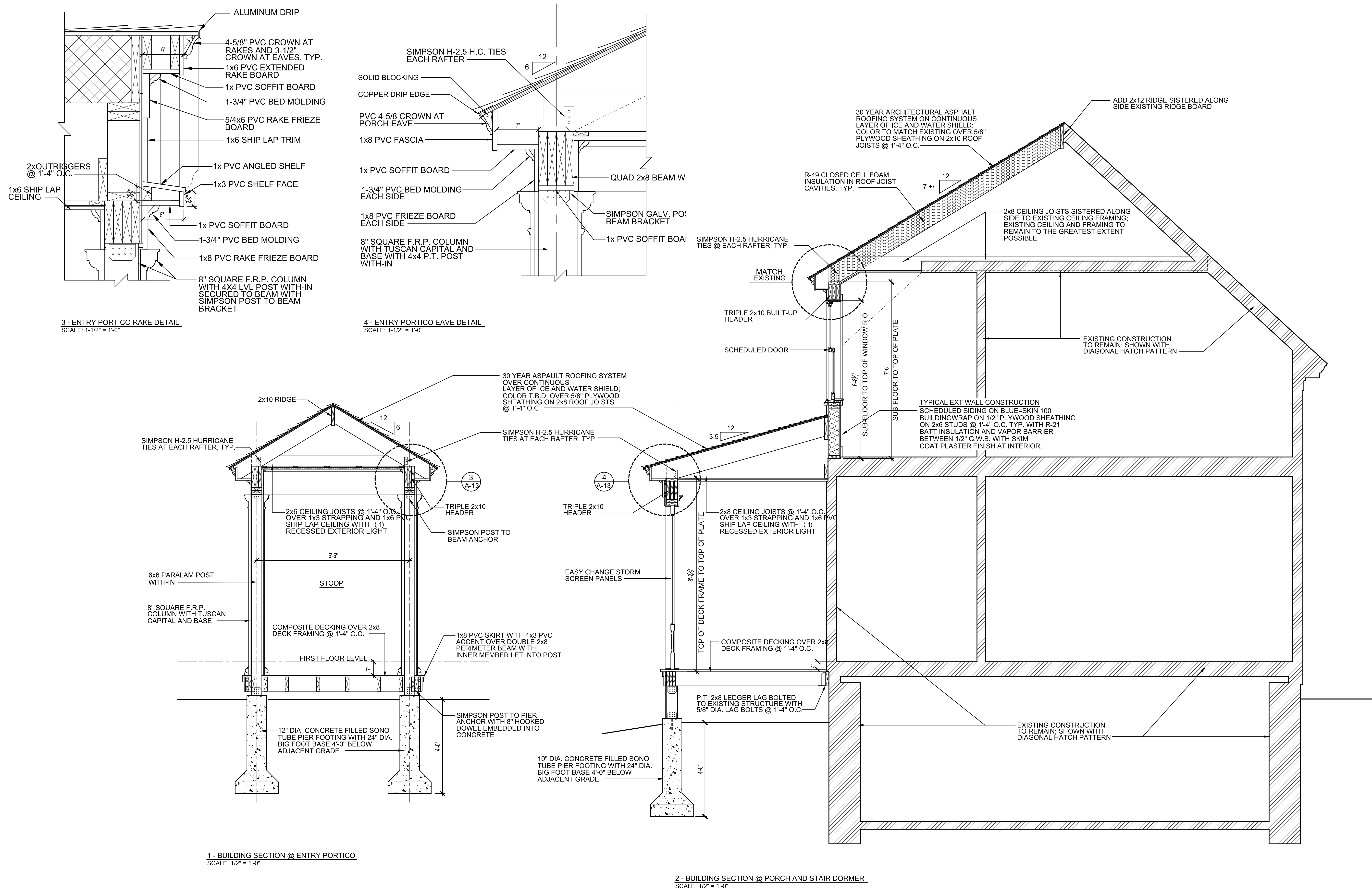
NOTES:
1. PROVIDE 1/2 SCREEN PANEL AT LOWER SASH OF ALL DOUBLE HUNG WINDOWS
2. CONTRACTOR TO ORDER TEMPERED GLASS AT ANY NEW WINDOWS ADJACENT TO DOORS, IN STAIR WELLS, SHOWERS, TUBS, UNDER BUILT IN SEATING, OR WHERE WINDOW GLASS IS LESS THAN 18" TO A WALKING SURFACE, OR AS REQUIRED BY CODE.
3. CONTRACTOR TO REVIEW HARDWARE, WINDOW OPTIONS AND FINISHES WITH OWNER AND TO PROVIDE ARCHITECT WITH FINAL WINDOW ORDER FOR REVIEW PRIOR TO PLACING ORDER.

Revision	Date	By









J. Happel

FINE WOODWORKING

EST. 2019

1 (781) 264-5635 jhappelprojects@gmail.com

General Contractor: John J. Happel
Construction Supervisor License #: CS-116709

H.I. Registration #: 211061

Address: 49 Idyl Wilde Cir, Marshfield, Ma 02050

Date: 8/9/26

Robert & Ellen Rogers
71 Hersey St.
Hingham, MA 02043

(617) 688-2418 (Bob's Cell)
(Ellen's Cell)

bob.rogers@aon.com
ellenneelonrogers@yahoo.com

[Project: 71 Hersey Street, Hingham MA—Phase II]

SCOPE OF THE WORK

See plans designed by *Apra Designs, Inc.* The scope of "Phase II" includes the following elements:

1. Full exterior remodel of existing main house to include new windows, exterior doors, trim, siding, and roof.
2. 1st floor renovations include new kitchen, dining, pantry, and the addition of a master bath and additional closet space for the master suite.
3. 2nd floor renovations include two full baths, dedicated laundry room, and the addition of one extra bedroom.
4. The work described above includes modified roof lines and changes to interior structural elements.
5. See additional description of work below.

Preliminaries:

J. Happel Fine Woodworking LLC shall provide or perform the following:

- JHFW shall pull the necessary permits for their work.
- JHFW shall arrange the required abatements (if any) prior to the start of their work.
- JHFW shall furnish all the labor and construction materials for their work.
- JHFW shall coordinate with all independent contractors, subcontractors and suppliers.

- JHFW shall use dumpsters on site and provide a port a-let on site.

Demolition:

- Remove existing exterior elements necessary for full exterior remodel.
- Remove existing interior walls and provide temporary structural support prior to reinstallation of final structural elements.
- Remove existing porch in its entirety.
- Remove specified exterior walls where changes to rooflines are to be made.

Site Work + Foundation:

- Install 10" diameter concrete piers to support front entry remodel and new porch.

Note: No subsurface investigations regarding the soil conditions have been provided at this time.

Unforeseen subsurface conditions (e.g. rock, in-fills, unstable soil, high-water table, hazmat, etc.) may cause delays or impact cost.

Note: Existing driveway may need to be cut and repaired.

Framing:

- Framing materials shall be as shown with conventional KD SPF and engineered framing materials (e.g. Boise Cascade 9-1/2" AJS joists) for the house frame and pressure-treated lumber for any exterior framed areas.
- Floor joists will be engineered lumber, 16" O.C. with 3/4" T&G sheathing glued and fastened.
- Frame 2x6, 16" O.C. KD SPF exterior walls with 1/2" CDX sheathing + applied weather barrier.
- Frame 2x10, 16" O.C. KD SPF roof rafters with 5/8" ZIP System sheathing and H-2.5 hurricane ties.
- Engineered LVLs to be used as shown.
- Engineered W12x26 flush framed steel to be used as shown.
- 1x3, 16" O.C. strapping on ceilings.
- Provide nails and fasteners as needed.
- Crane-assist will be required for placement of some structural elements.

Note: no issues have been detected or reported at this time regarding mold, extensive rot, structural problems, etc. Unforeseen conditions related to any of these issues may cause delays or impact cost.

Roof:

- Provide and install 30-year Architectural asphalt roofing shingle (Color to be chosen by homeowner).
- Install Ice & Water (textured) to new roof.
- No venting (insulated rafters)
- 8" aluminum drip edge.

Exterior Windows & Doors:

- Provide and install Marvin Elevate Series Double-Hung Windows 6-over-6 SDL (simulated divided light) with screens (Interior and exterior color to be finalized by the homeowner).
- Provide and install Marvin Elevate Series Awning Windows 6-light SDL (simulated divided light) with screens (Interior and exterior color to be finalized by homeowner).
- Provide and install two 3'0"/6'8" Simpson 12-lite Fir entry door with two matching 1'0"/6'8" 4-lite side lights.
- Provide and install locksets (chosen by homeowner).

Exterior Trim: (See plans) included in framing & labor.

- All exterior trim is composite material unless otherwise specified by architect.

Exterior Sidewall:

-Provide and install 4" weather exposure primed-finger-jointed cedar clapboard at front facing elevations using stainless steel ring fasteners.

-Provide and install new cedar shingle siding at all side and rear elevations using 7/16" galvanized crown staples. (Color and exposure to be determined by homeowner).

Note: Material and labor costs will vary +/- depending on shingle type and weather exposure.

Insulation:

-Insulate with Icynene spray foam (as shown on the plan).

-R-49 or better in all rafter bays.

-R-21 or better in all exterior walls, sill areas and floors exposed to unregulated temperatures.

-Windows and doors soft-foamed.

Board & Plaster:

-Provide and install ½" blue board smooth coat on all interior living spaces.

-Provide and install 5/8" blueboard textured coat on garage ceiling/walls and storage areas.

Interior Doors:

-Provide and install interior doors as shown on the plan.

-Homeowner will choose type and style.

-Homeowner will choose type and style of door hardware (e.g. knobs and pulls).

Interior Trim:

-Provide and install window/door casings, baseboard and mouldings.

-Homeowner will choose type and style.

Interior Stairs:

-Provide and install (13) 7-5/8" risers and 10" white oak treads with intermediate landing.

-Sound-deadening between stair framing.

-Provide and install railings and newel posts as selected by homeowner if applicable.

Flooring:

-Remodeled areas to be 3-1/4" white oak flooring with Bona clear coat unless otherwise specified by homeowner.

-All bathroom floors to be tiled.

Ceramic Tile:

-Provide and install prep materials for tiled floor in adjoining master bath, two second floor baths, and second floor laundry areas.

-Custom shower in master bath to be tiled.

-Tub/shower areas in second floor baths to be tiled.

-Homeowner will choose tile, grout and pattern.

-Homeowners will arrange for tile pickup or delivery.

Painting (Interior & Exterior):

-Homeowner may hire and pay the painter directly for material and labor if they choose. J.

Happel Fine Woodworking LLC will coordinate and schedule the painting.

Gutters:

-Provide and install 5" white aluminum "K" gutters and downspouts.

Landscape & Hardscape:

-Homeowner may hire and pay a landscape contractor directly for material and labor if they choose. J. *Happel Fine Woodworking LLC* will coordinate and schedule the installations.

MECHANICALS:

Heating & Air Conditioning:

- Work with existing systems to condition the new spaces created in the main house.
- Provide and install new energy-efficient heat pump systems for cooling.

Plumbing:

- Plumber will provide and install all rough plumbing necessary for the kitchen, laundry, master bath and two 2nd floor baths.
- Plumber will utilize existing heat system (e.g. boiler system) to condition the new spaces created in the main house.
- At present, no new gas lines being added.
- The homeowner shall choose and provide the plumbing fixtures, toilets, faucets, mixing valves for showers.

Electrical:

- Electrical service upgrade TBD.
- All surface-mounted lights shall be provided by the homeowner and installed by the Electrician.
- Recessed lights and bathroom fans are provided by the Electrician.
- All recessed lights to have a dimmer switch.
- Smoke and carbon monoxide alarms according to code.
- Wire for exterior GFI outlets in newly constructed areas.

COMMENCEMENT & COMPLETION

Commencement of the work shall be defined as the beginning of substantial excavation of foundations, footings or base of the new construction. The expected date of commencement will begin on October 1st 2026.

Substantial completion shall be defined by the issuance of an approved final inspection and/or certificate of occupancy. The projected date for substantial completion is approximately February 15th 2027. It is understood that the homeowner may make some decisions and changes as the work proceeds. Please be aware that all timelines contemplated by the contract may be delayed as necessary to accommodate agreed-upon changes and/or delays in decisions by the customer.

COST OF WORK

The estimated Cost for the above work described is approximately \$500,000 plus or minus 7%
— However, the work shall be completed on a "Cost Plus" basis as described:

The labor charge for Carpenters and Construction Supervisors is \$77.00 per manhour. The construction materials and Subcontractors shall be provided at J Happel Fine Woodworking LLC's cost plus 10% for overhead and 5% for profit.

PAYMENT SCHEDULE

Itemized invoices shall be provided by J. Happel Fine Woodworking LLC on a weekly basis.

Payment shall be due on receipt and received not more than ten (10) days from the date of billing.

**Right to Terminate:* Please be advised, JHFW reserves the right to terminate the project for payments due which remain delinquent for a period greater than (30) thirty days. JHFW may exercise its right to terminate upon providing the customer (7) seven days written notice of its failure to pay.

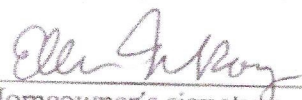
Additional terms and conditions are on the back of this agreement.

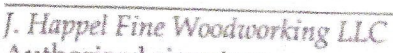
Acceptance of the above proposal—the above prices, specification and conditions are satisfactory and are hereby accepted. J Happel Fine Woodworking LLC, their employees and Subcontractors are authorized to do the work as specified.

**Right to Cancellation:* Please be aware the homeowner retains the right to cancel this agreement without penalty upon written notice to JHFW no later than 11:00 p.m. EST of the third business day after signing.


Homeowner's signature 8/9/2026
date


J. Happel Fine Woodworking LLC
Authorized signature 8/9/2026
date


Homeowner's signature 8/9/2026
date


J. Happel Fine Woodworking LLC
Authorized signature date

J. HAPPEL FINE WOODWORKING LLC. SERVICE WARRANTY

J. Happel Fine Woodworking LLC. fully warrants its employees and / or subcontractor's workmanship in conjunction with this contract, for one year. In addition, materials are guaranteed and / or warranted to the extent of the original manufacturer as per their written warranty. Defects caused by external means or methods (i.e. fire, acid, flooding, etc.) are excluded. This warranty will be construed under the laws of the state of Massachusetts.

Terms and Conditions

1. The homeowner agrees that his equity in the premises and property involved in this contract is surety for this contract. Said property shall neither be sold nor have titled transferred until this contract has been fully paid.
2. J. Happel Fine Woodworking LLC. will provide necessary Workman's Compensation Insurance for their work.
3. Surplus materials on the job site remain property of J. Happel Fine Woodworking LLC.
4. Verbal change orders and/or supplements to this contract are binding to either party. Extra work, not in the original agreement will be done at cost plus e.g. our labor rate is \$ 77.00 per man-hour for our workers. On Subcontractors and on materials needed, a 10%-mark up is added for overhead and 5 % is added to that for profit. J. Happel Fine Woodworking LLC. reserves the right to proceed with a verbal authorization from the homeowner if it is expeditious.
5. Acceptance of a copy of this contract represents consummation of terms and agreement to proceed. Obtaining certificate of occupancy is the contractor's responsibility.
6. Performance of this contract is subject to conditions beyond the control of J. Happel Fine Woodworking LLC. in obtaining materials or ability to complete work.
7. Signature of this contract certifies that it is agreed to in all parts and constitutes the entire agreement between the parties. No other agreements, promises or warranties are binding.
8. J. Happel Fine Woodworking LLC's employees and subcontractors are hereby authorized to enter the property at which work is to be done for the purpose of delivering materials, or carrying out the provisions of the contract, or to remove obstacles that may hamper work. The replacement of such obstacles or any damage to them shall not be J Happel Fine Woodworking LLC's liability.
9. Unforeseen obstacles, (such as plumbing hidden in the walls, rotted wood, termite damage etc.) will be an extra charge.
10. All pictures, mirrors, etc. hung on walls inside are not the responsibility of J. Happel Fine Woodworking LLC. if damaged from hammering vibrations, etc. Inside walls or ceilings may show effects of hammering by exposing nails. J. Happel Fine Woodworking LLC is not responsible for resetting these nails or redecorating in any manner.
11. J. Happel Fine Woodworking LLC assumes no obligation for any pre-existing violations on existing structures that are not built according to codes nor acceptable construction procedures.
12. Surveys and/or engineering if required is at the customer's expense. The customer certifies any survey supplied is an accurate representation of all property details.
13. Any electrical amperage increase in the existing service is the responsibility of the customer, unless specifically included in the contract.
14. The customer will be responsible for any special site preparation entailing the protection and/or removal of trees or other vegetation or any other unusual situations impairing construction (e.g. large rocks, ledge, stumps, etc.) unless specifically included in the contract.
15. The customer shall be responsible for costs of collection incurred by J. Happel Fine Woodworking LLC including reasonable attorney's fees, court costs and sheriff's fees. In the event payment is not received in accordance with payment schedule, J. Happel Fine Woodworking LLC is entitled to interest on the unpaid balance at the rate of 18% per annum.
16. Any controversy or claim arising out of or related to this contract, or breach thereof, shall be settled by Arbitration in accordance with the construction Industry Arbitration Rules of the American Arbitration Association. The award rendered by the arbitrator or arbitrators shall be final, and judgment may be entered upon it in accordance with applicable law in any court having jurisdiction thereof.
17. J. Happel Fine Woodworking LLC reserves the right to cancel this agreement within (3) three working days from the date of signing.
18. The rate for meetings requested by Architect or Homeowner is \$77.00 per man hour and is billed weekly.
19. J. Happel Fine Woodworking LLC work hours are generally Monday through Friday from 7:30 A.M. to 4:30 P.M.